



# Executive Director's Recommendation

Commission Meeting: April 2, 2020

<b>PROJECT</b> <b>Amendment to the Square 491 Guidelines, Parcel B</b> 555 Pennsylvania Avenue, NW Washington, DC	<b>NCPC FILE NUMBER</b> P8072
	<b>NCPC MAP FILE NUMBER</b> 1.21(00.00)45087
<b>SUBMITTED BY</b> United States General Services Administration	<b>APPLICANT'S REQUEST</b> Approval of preliminary and final site and building plans and Square Guidelines amendment
<b>REVIEW AUTHORITY</b> PADC Review per 40 U.S.C. § 6702(d)	<b>PROPOSED ACTION</b> Approve preliminary and final site and building plans and Square Guidelines amendment
	<b>ACTION ITEM TYPE</b> Consent

## PROJECT SUMMARY

The General Services Administration (GSA), on behalf of Johns Hopkins University (JHU), has submitted proposed amendments to the Square 491 Guidelines of the Pennsylvania Avenue Plan and related preliminary and final site and building plans for 555 Pennsylvania Avenue, NW. The site is bounded by 6th Street on the west, C Street on the north, Pennsylvania Avenue on the south, and the Consulate for the Canadian Government on the east. It was recently the home of the Newseum, which after 11 years, closed the location on December 31, 2019. The purpose of this review is two-fold, and includes approving amendments to the Square Guidelines, consistent with the Plan Amendment approved the Commission; and finalizing review of the site and building plans.

JHU is in the process of purchasing 555 Pennsylvania Avenue, NW. The university proposes a major renovation of the building resulting in an additional 55,000 gross square feet of interior space. This additional space will be captured as part of an interior atrium and floor slab reconfiguration, resulting in a redesign of the exterior façade. As the result of a proposed conversion from the existing museum use to an innovative, state-of-the-art educational facility and additional gross square footage, a plan amendment was approved by the Commission in December 2019 to ensure the project conformed with the Pennsylvania Avenue Plan. The Plan provides high-level development and planning guidance for the right-of-way, parks, and individual parcels.

The current submission focuses on updating the Square 491 Guidelines, which provide more detailed development guidance and must be amended to be consistent with the Plan. Each building site within the Pennsylvania Avenue Development Corporation (PADC) boundary has Square Guidelines, which are amended infrequently as exterior building renovations or new development

occurs. The proposed Square Guideline amendments focus on changes to the land use, interior square footage, and updated parking requirements per current zoning regulations. Existing language on the building envelope, building heights, and setbacks remain the same.

In addition to the new educational use, JHU's program will include a new ground floor food service or retail/service uses to activate Pennsylvania Avenue, as well as a possible gallery, bookstore, or student space at the ground floor. The site currently has an apartment building and restaurant which will remain unaltered as part of this real estate transaction and renovation. Overall, the design has not substantially changed since the December 2019 review, but the applicant has continued to work through details regarding the proposed building materials and treatment of the ground plane and streetscape.

## KEY INFORMATION

- 555 Pennsylvania Avenue is located within the Pennsylvania Avenue Development Corporation (PADC) boundary, guided by the Pennsylvania Avenue Plan and Square Guidelines. The Square 491 Guidelines (amended in 2003) currently call for the Newseum and Freedom Forum to be located at the site and must be amended to allow for educational uses and increased gross square footage.
- When the Pennsylvania Avenue Development Corporation (PADC) was sunset in 1996 (*Public Law 104-134, revised in 2002 as P.L. 107-217*), some of the Corporation's responsibilities were delegated to the National Capital Planning Commission (NCPC), National Park Service (NPS), and the General Services Administration (GSA). The District Department of Transportation (DDOT) retains jurisdiction over the cartway, the curb-to-curb area of Pennsylvania Avenue.
- After NCPC's approval of amendments to the 1974 Pennsylvania Avenue Plan in December 2019, GSA transmitted the language for Congressional approval on February 19, 2020. If Congress does not act on the language within 60 days of transmission (April 19, 2020), the amendments are approved.
- Major building and site changes include a new cantilevered stone and glass façade, new entry feature towards the eastern end of the building, a retail storefront along Pennsylvania Avenue anticipated for a food service use, and a raised building curb and new ground floor storefront to meet 100-year floodplain requirements.
- GSA issued a Categorical Exclusion for the National Environmental Protection Act (NEPA) requirements and a finding of no adverse effect for Section 106 of the National Historic Preservation Act (NHPA). The District of Columbia State Historic Preservation Office (DC SHPO) concurred on the Section 106 finding.
- The Commission of Fine Arts (CFA) reviewed the earlier designs in July and September 2019, and approved the revised concept design at its November 2019 meeting (letter attached).

- The project site is within the study area of the Pennsylvania Avenue Initiative, a collaborative federal and local agency effort to strengthen the Avenue's vision and role in the capital city.

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## RECOMMENDATION

The Commission:

**Approves** the Square 491 Guidelines amendment outlining appropriate changes in land use and building square footage on the site, both of which are in alignment with the overarching goals of the 1974 Pennsylvania Avenue Plan.

**Approves** the preliminary and final site and building plans for the proposed Johns Hopkins University facility located at 555 Pennsylvania Avenue, NW in Washington, DC.

**Encourages** the applicant to:

- Continue to coordinate with the Military District of Washington and National Park Service to minimize January 2021 Inaugural Parade impacts due to construction.
- Coordinate with the National Park Service to wrap the steam pipe below the sidewalk and replant the willow oak trees to prevent future tree mortality and enhance Pennsylvania Avenue's continuous streetscape design.

**Notes:**

- Substantial changes to the proposed site or building design should be submitted to the Commission for review.
- The building permit application will be submitted to NCPC staff for review to ensure compliance with the Pennsylvania Avenue Plan and Square Guidelines.

## PROJECT REVIEW TIMELINE

<b>Previous actions</b>	<p><b>January 2003</b> – Approved Amendments to the Pennsylvania Avenue Plan of 1974 and the Square Guidelines for Square 491 (<i>NCPC File No. 6306</i>)</p> <p><b>April 2005</b> – Approved Temporary Perimeter Security Enhancements (<i>NCPC File No. 6583</i>)</p> <p><b>October 2019</b> – Information Presentation from Johns Hopkins University (<i>NCPC File No. P8072</i>)</p>
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	<b>December 2019</b> – Approved Concept Review and Amendments to the Pennsylvania Avenue Plan of 1974 (NCPC File No. P8072)
<b>Remaining actions</b> (anticipated)	– Building permit review ( <i>staff-level</i> )

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## PROJECT ANALYSIS

### Executive Summary

In December 2019, the Commission reviewed and approved an amendment to the Pennsylvania Avenue Plan to accommodate the proposed JHU educational use. The submission currently under review includes proposed amendments to the Square 491 Guidelines which provide more detailed site and building development information to shape components such as the land use mix, building envelope, and façade materials. The changes align the Square Guidelines, Plan Amendment and the proposed project. The submission also includes review of the preliminary and final site and building plans. The updated package has addressed the Commission's comments from the December review. Overall, staff finds the innovative educational use and building modifications appropriate for this location and recommends the **Commission approve the Square 491 Guidelines amendment outlining appropriate changes in land use and building square footage on the site, both of which are in alignment with the goals of the 1974 Pennsylvania Avenue Plan.** Staff also recommends the Commission **approve the preliminary and final site and building plans for the proposed Johns Hopkins University facility located at 555 Pennsylvania Avenue, NW in Washington, DC.**

### Analysis

A majority of the components analyzed in the concepts submission remain consistent with the preliminary/final submission and are in conformance with the 1974 Pennsylvania Avenue Plan. These include the building façade, rooftop, ground floor uses, and environmental building systems. Minor updates addressing Commission comments have been provided for the building entrance, building and perimeter security, Avenue streetscape, and building construction. The Square 491 Guidelines amendments have also been included and are consistent with the Pennsylvania Avenue Plan amendments approved by the Commission in December 2019. A description of some of the project components are described below.

#### **Building Design and Security**

The submission includes minor updates to the building entrance focusing on the interior vestibule; the overall layout and dimensions for the outdoor plinth remain the same. To enter the main

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building area from Pennsylvania Avenue, visitors must first pass through a vestibule, then on to a security check before accessing classrooms, the theater, and offices. The front gallery space fronting Pennsylvania Avenue will remain fully accessible to the public. The east-end café space continues to show a separate entrance directly from the street and is also fully accessible to the public. Staff believes the café and associated spaces will help enliven the streetscape in this area. Entrances on C and 6<sup>th</sup> Streets will be limited access.

An approximately 18” rise from the sidewalk to the building entrance, flanked by the planters and seating wall, provide a multi-purpose feature balancing publicly accessible comfort amenities with security needs. Ample shaded seating (an infrequent feature along the Avenue) invites the public to take a break while providing a barrier securing the building entrance. JHU does not anticipate any other perimeter security features outside the building or on the public sidewalk.

Johns Hopkins remains committed to a materials palette that complements neighboring buildings and aligns with the masonry theme of Pennsylvania Avenue architecture. While the materials palette remains unchanged from the December 2019 submission, some of the renderings showed differently on screens and printed materials in December than the actual material; the goal is to use a stone façade similar in hue to the National Gallery of Art, located south of the building, and the upper stories of the historic façade at 601 Pennsylvania Avenue, located east of the building.

#### **Avenue Streetscape and Side Streets**

As requested in the prior Commission action, renderings now show all the existing PADC streetscape materials. Johns Hopkins University (JHU) has confirmed that all streetscape materials will be stockpiled during construction and replaced prior to the building reopening (anticipated in late 2023). When the Newseum was originally built, one street tree towards the west end of the block was not installed to keep clear sight lines to the First Amendment plaque. Now that the plaque is being removed, staff encourages the tree to be added back to the streetscape.

As mentioned in the December 2019 concept review report, the steam pipe located under the sidewalk continues to impact tree health. Wrapping the pipe with insulation should improve tree viability and has been successfully implemented in other cities.

In general, staff supports ongoing coordination of public space protection and improvements between the National Park Service (NPS) and JHU, including coordination of wrapping the steam pipe that is leading to poor tree health and mortality and potential installation of the additional street tree.

The District Department of Transportation (DDOT) has been working with JHU to resolve existing side street transportation issues along 6<sup>th</sup> and C Streets, NW. The parties are coordinating to locate a Capital Bikeshare station on the block, preferably on C Street. This will be funded and installed by DDOT. The station supports efforts to make the site as bicycle-friendly as possible, including the conversion of up to 14 garage parking spaces for protected parking for up to 140 bicycles.

### **Building Construction**

JHU is coordinating with the National Park Service (NPS) and the District Department of Transportation (DDOT) to minimize impacts to Pennsylvania Avenue. Soft demolition work is anticipated to begin in Summer 2020, which will include removal of the Newseum exhibits and some minor interior preparation work. Hard demolition to the interior and exterior is anticipated to begin in late 2020. At this time, JHU anticipates requesting use of a Pennsylvania Avenue road lane to stage a crane for building renovations.

Staff is also working to coordinate meetings between JHU and the NPS to minimize potential impacts to the January 20, 2021 Inaugural Parade.

### **Square 491 Guidelines Amendments**

As part of this review, Square Guidelines amendments are proposed to bring the project into conformance (*see Square 491 Guidelines Amendment Markup attachment*). Similar to the Pennsylvania Avenue Plan Amendment, key changes include:

- Land use is adjusted from office and museum uses for the Freedom Forum and Newseum, respectively, to an institutional use (including education and office);
- Gross square footage (GSF) is adjusted from 410,000 GSF to 465,000 GSF;
- Allowable rooftop occupancy space is increased from 20% to 40% to accommodate new elevator banks
- Language is updated to align parking requirements with District of Columbia zoning guidance and remove outdated references to the local neighborhood character.

## **CONFORMANCE TO EXISTING PLANS, POLICIES AND RELATED GUIDANCE**

### **Comprehensive Plan for the National Capital**

As noted above, this project meets basic goals of the Comprehensive Plan and 1974 Pennsylvania Avenue Plan.

### **National Historic Preservation Act**

GSA initiated consultation with the District of Columbia Historic Preservation Office (DC SHPO) in September 2019 and held an initial scoping meeting on September 24, 2019. Consulting parties were generally supportive of the building design and recommended greater attention to activating the ground level and public space. On November 7, 2019, the DC SHPO issued a letter concurring with GSA's determination of no adverse effect for this project. As the Commission has any advisory role, NCPC does not have an independent NHPA compliance requirement.

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## **National Environmental Policy Act**

GSA also led the National Environmental Protection Act's (NEPA) process and issued a Categorical Exclusion (CATEX) for the project in January 2020. As the Commission has any advisory role, NCPC does not have an independent NEPA compliance requirement.

## **CONSULTATION**

### **Pennsylvania Avenue Development Corporation**

As outlined in a July 25, 1996 Memorandum of Agreement (*61 Fed. Reg. 41789*) following the sunset of the Pennsylvania Avenue Development Corporation (PADC), three federal agencies (NCPC, GSA and NPS) are responsible for the ongoing review of site development and public space projects within the PADC boundary. For private development requiring Pennsylvania Avenue Plan and/or Square Guideline amendments, GSA is responsible for leading these efforts and coordinating with NCPC and NPS. GSA staff has performed exceptionally on the project, ensuring NCPC and NPS staff have been engaged directly with Johns Hopkins on a regular basis. GSA's proposed Plan amendments were circulated among the agencies and have received staff-level concurrence. NPS has reviewed the Plan amendment and supports the proposed changes as documented in a March 16, 2020 letter to GSA (*see attachment*).

### **Coordinating Committee**

The Coordinating Committee reviewed the proposed plans at their March 11, 2020 meeting. Without objection, the Committee forwarded the proposed comments on concept plans to the Commission with the statement that the proposal has been coordinated with all participating agencies. The District Department of the Environment (DOEE) noted that the applicant will need to meet stormwater standards for major rehabilitations. The District Department of Transportation (DDOT) expressed interest in locating a Capital Bikeshare station behind the building on C Street, NW. NCPC staff noted that they are continuing to work with NPS and others to determine the best street tree planting strategy in relation to underground utilities. Other participating agencies included the General Services Administration (GSA); the National Park Service (NPS); the District Office of Planning (DCOP); the Washington Metropolitan Area Transit Authority (WMATA); and the District of Columbia State Historic Preservation Office (DC SHPO).

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## **U.S. Commission of Fine Arts**

The concept submission was approved by the Commission at their November 21, 2019 meeting. CFA's September and November 2019 letters are attached to the EDR. A final review is anticipated for mid to late 2020.

## **ONLINE REFERENCE**

The following supporting documents for this project are available online at [www.ncpc.gov](http://www.ncpc.gov):

- Submission Package
- Square Guidelines Amendment Markup
- CATEX
- DC SHPO Section 106 Letter

Prepared by Sarah Ridgely  
03/25/2020

## **ATTACHMENTS**

- Power Point Presentation
- Square Guidelines Amendment Markup
- CATEX
- DC SHPO Section 106 Letter
- Commission of Fine Arts Letters
- General Services Administration Letter
- National Park Service Letter

# Amendments to the Square 491 Guidelines

555 Pennsylvania Avenue, NW, Washington DC

Approval of Preliminary and Final Site Development Plans and Square  
Guideline Amendments

General Services Administration (on behalf of Johns Hopkins University)

# Project Summary

**Commission Meeting Date:** April 2, 2020

**NCPC Review Authority:** Amendments to the PADC Plan and Square Guidelines pursuant to 40 U.S.C. § 6702(d) and the Memorandum of Agreement dated July 25, 1996, 61 Fed. Reg. 41789)

**Applicant Request:** Approval of Preliminary and Final Site Development Plans and Square 491 Guidelines Amendments

**Session:** Staff Presentation

**NCPC Review Officer:** Sarah Ridgely

**NCPC File Number:** P8072

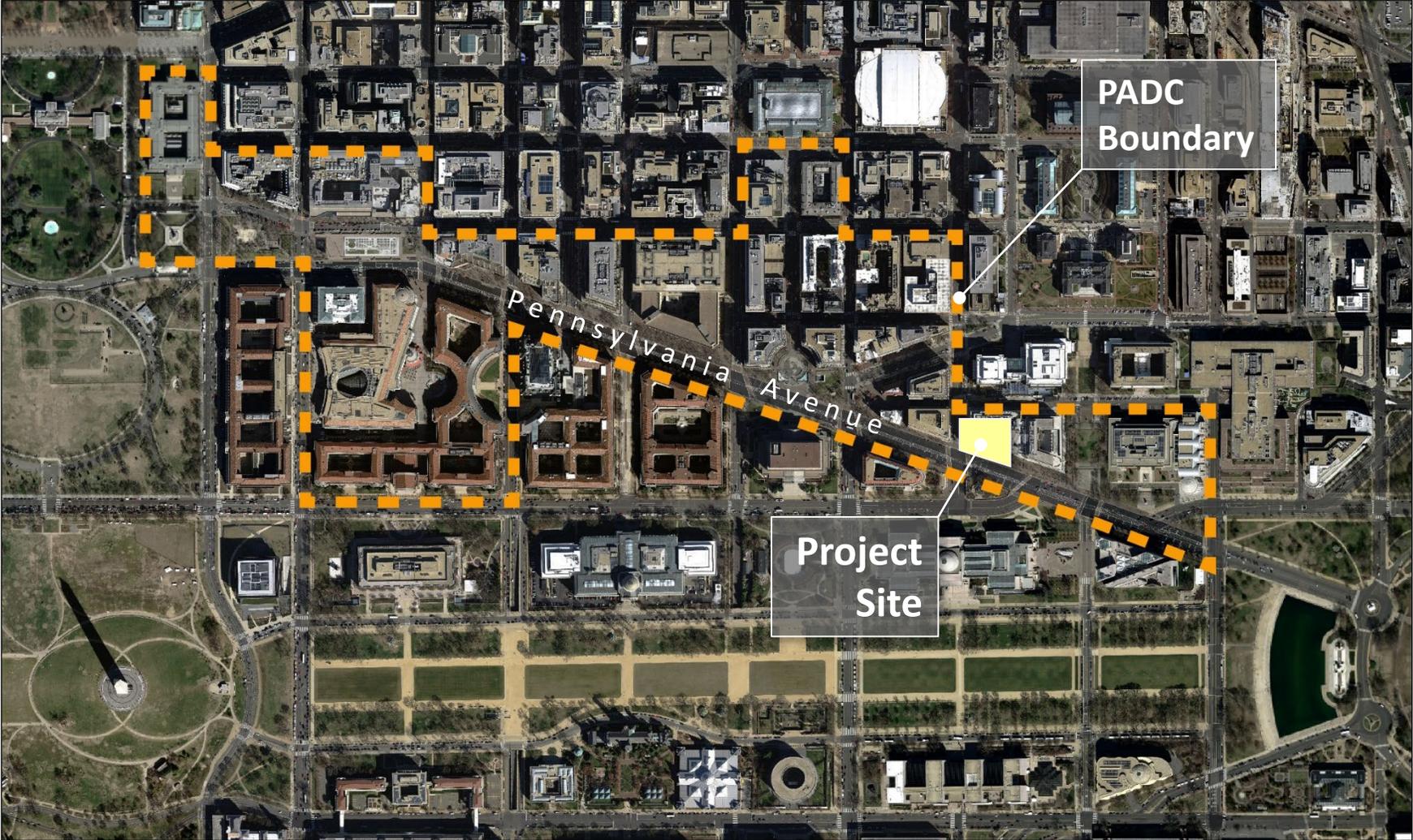
## Project Summary:

The General Services Administration, on behalf of Johns Hopkins University, has submitted preliminary/final site development plans and amendments to the Square 491 Guidelines to transition the Newseum building from a museum into a state-of-the-art educational facility. The site will be home to Hopkins' consolidated Washington, DC center for advanced academic programs.

Key planning and design considerations include the change in land use, views to the U.S. Capitol, façade design, building entrance, ground floor public access and programming, and opportunities to activate the Pennsylvania Avenue sidewalks. While this project is being undertaken on private property, it is within the Pennsylvania Avenue Development Corporation boundary and subject to the Congressionally-mandated Pennsylvania Avenue Plan and Square Guidelines. It is also within the Pennsylvania Avenue National Historic Site District.

As part of the National Historic Preservation Act, a Section 106 process was initiated by the General Services Administration (GSA), the lead federal agency, in September 2019. GSA also led the National Environmental Protection Act's (NEPA) process and issued a Categorical Exclusion (CATEX) for the project in January 2020.

# Site Location



Location Map

# Existing Conditions

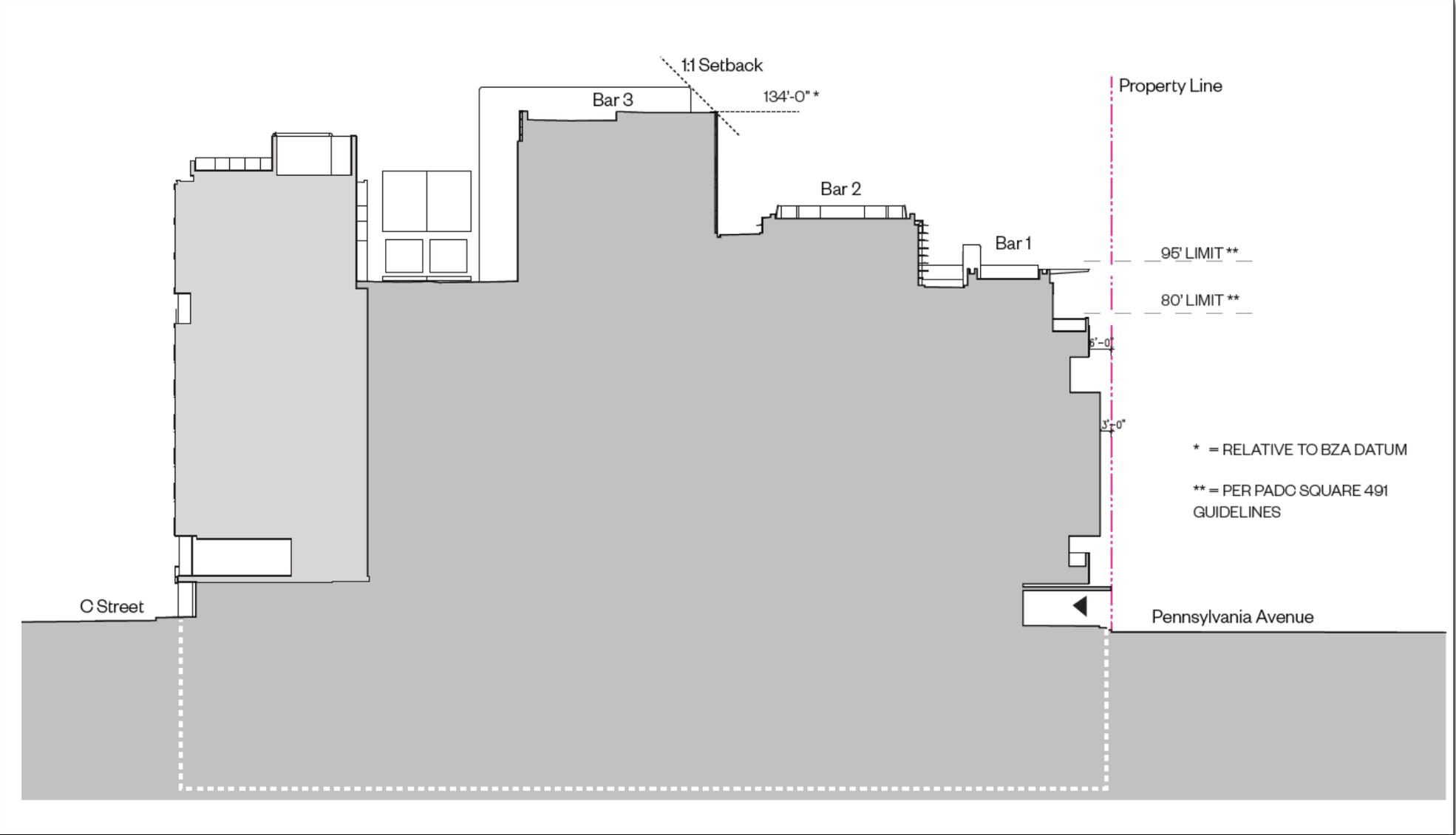


# Existing Conditions





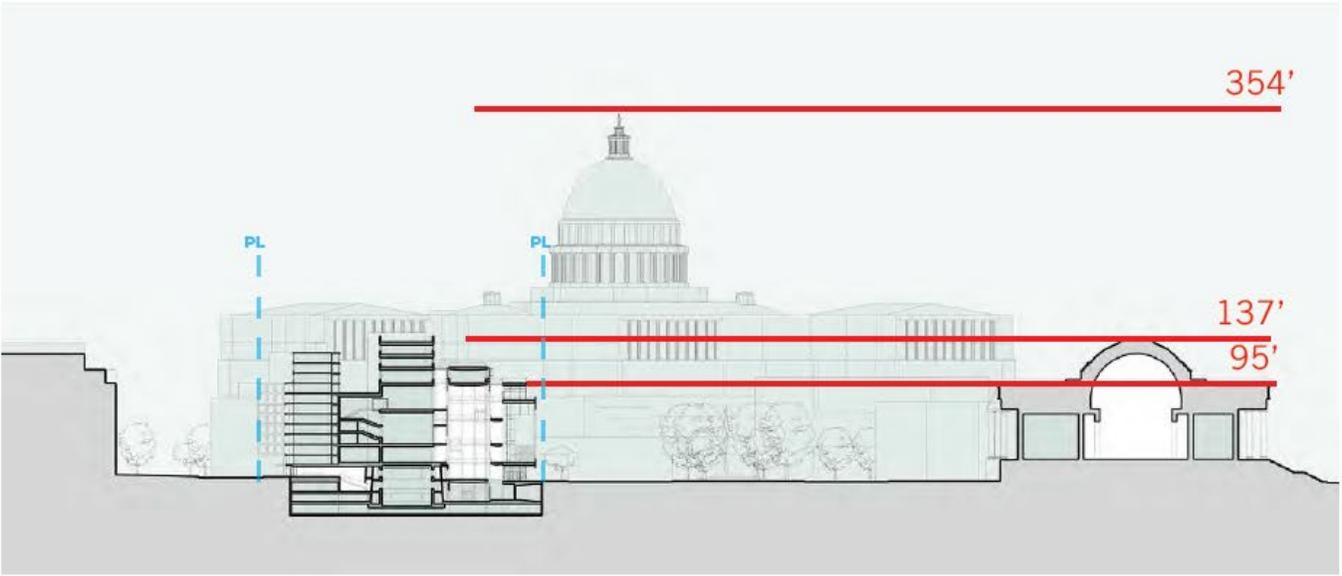
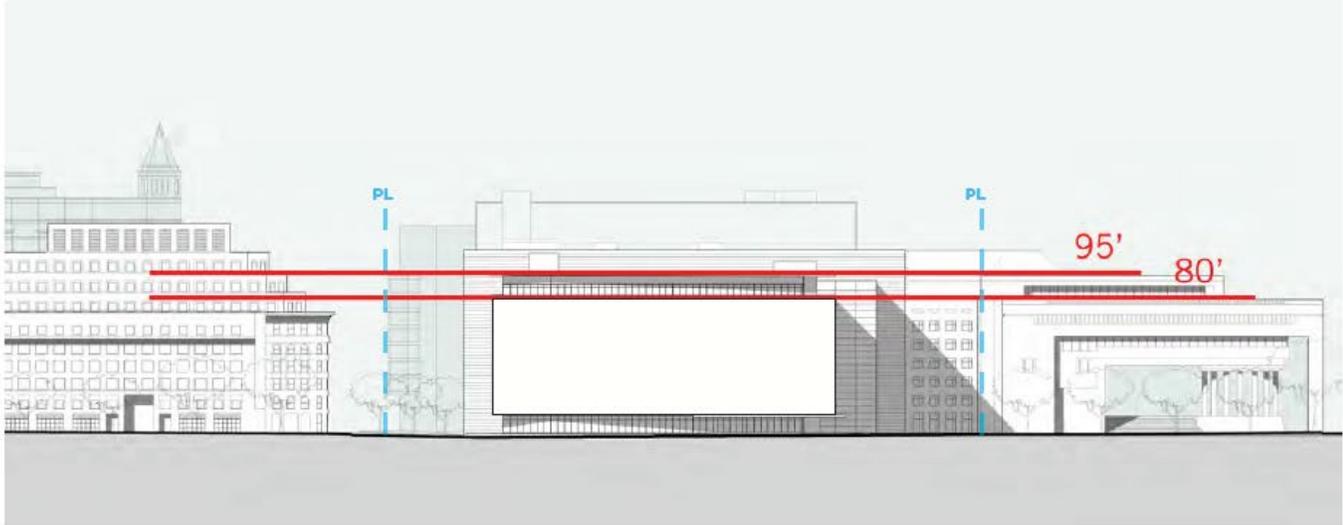
# Existing Conditions



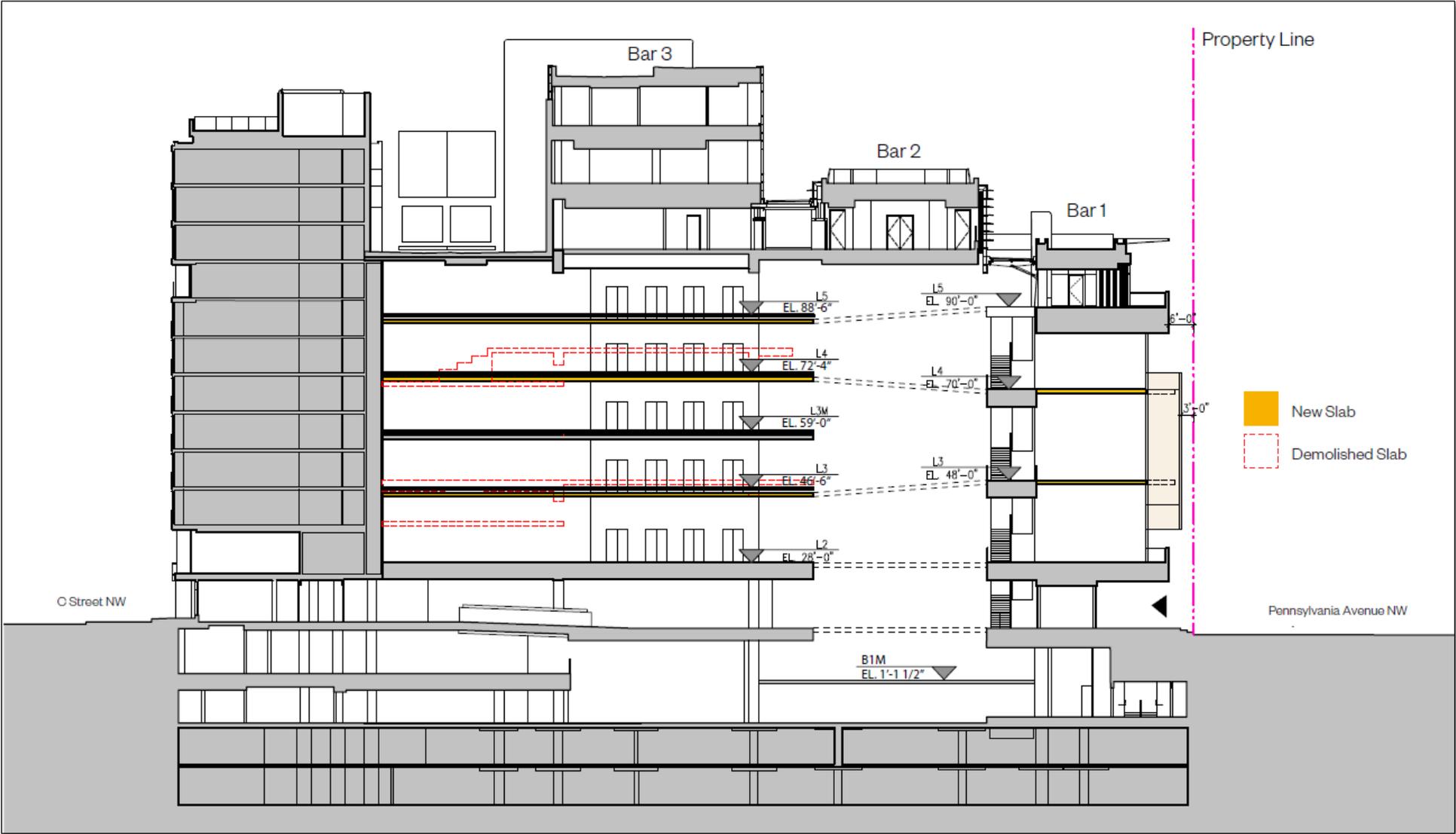
# Building / Streetscape Relationship



# Building / Building Relationship

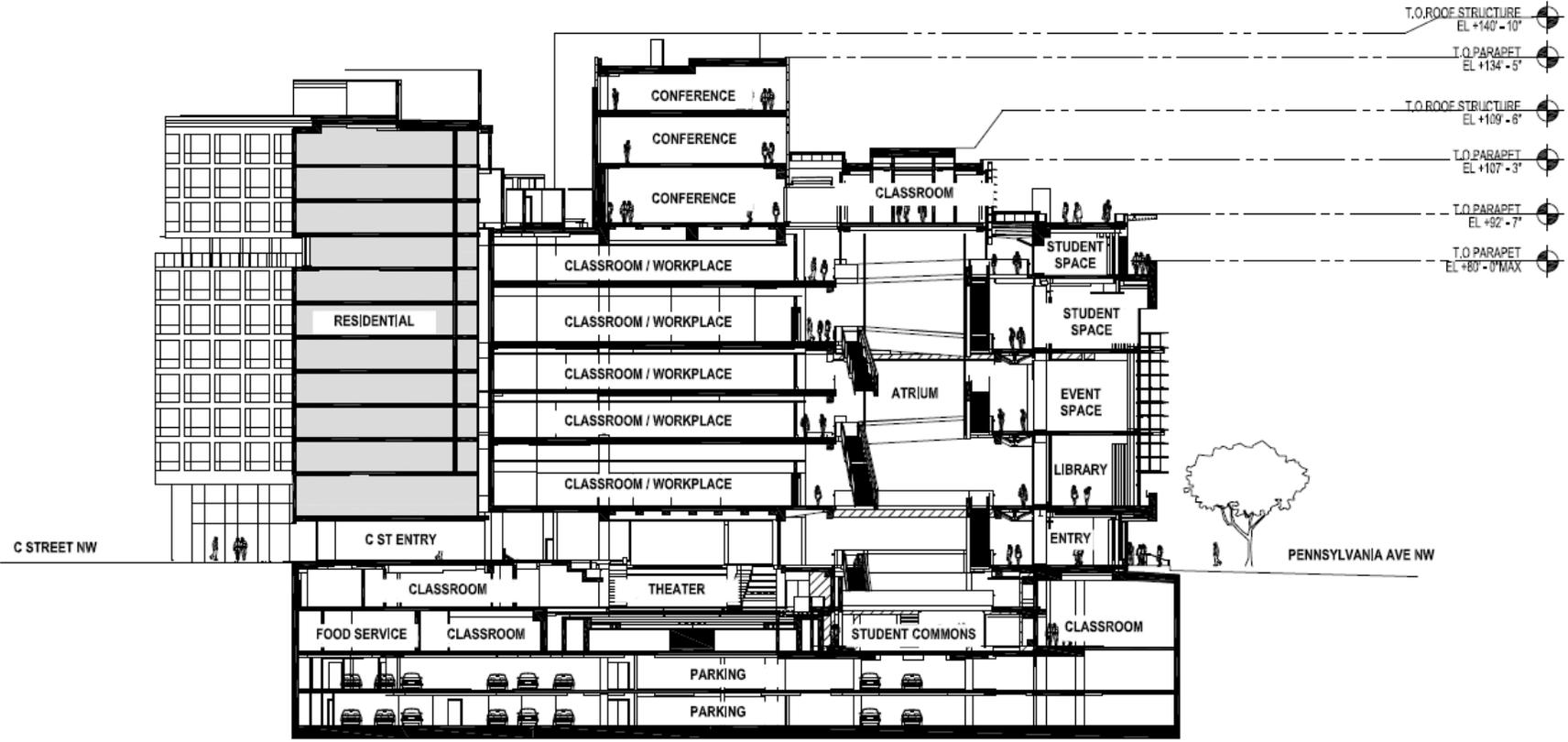


# Interior Expansion



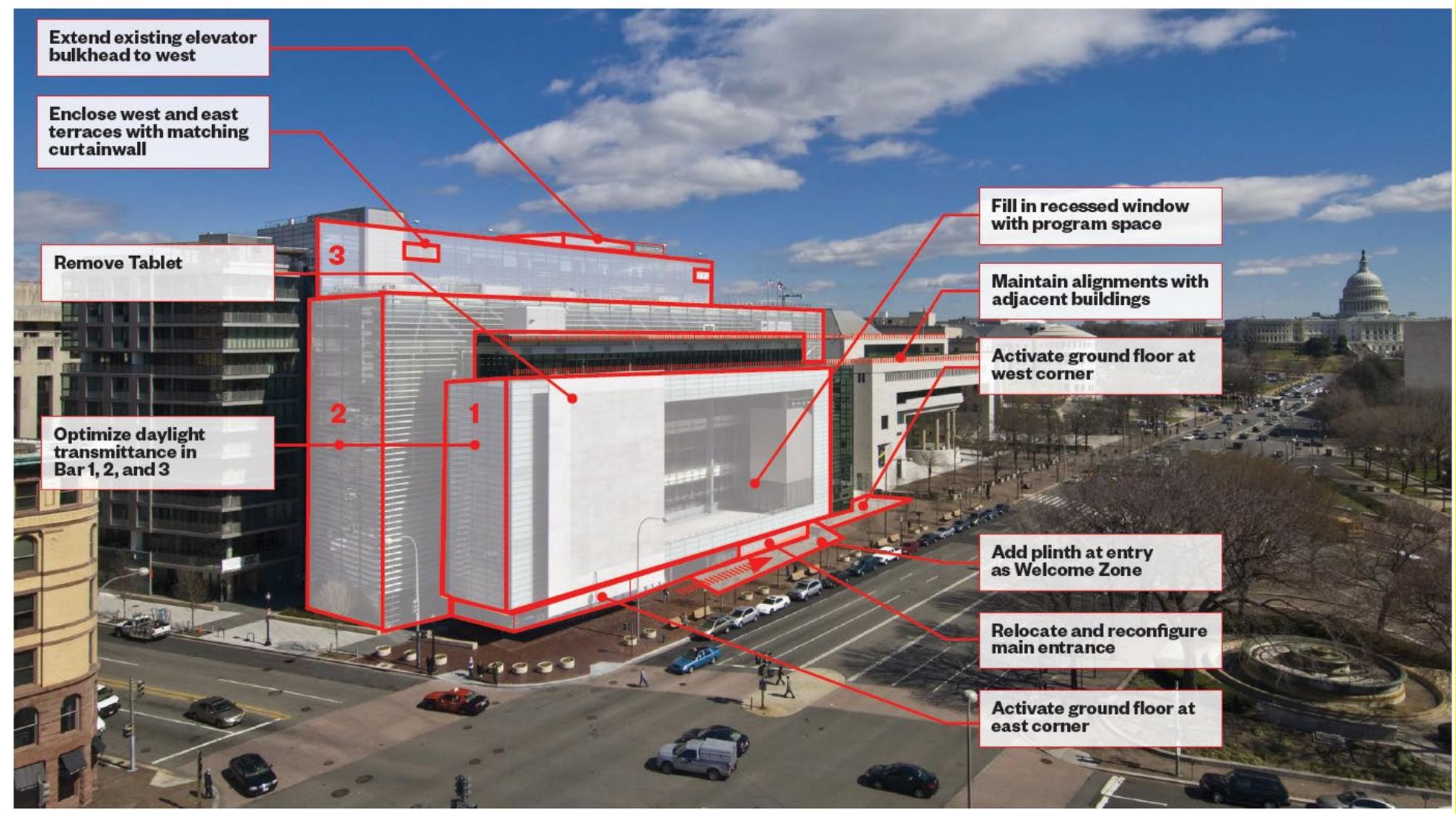


# Interior Expansion

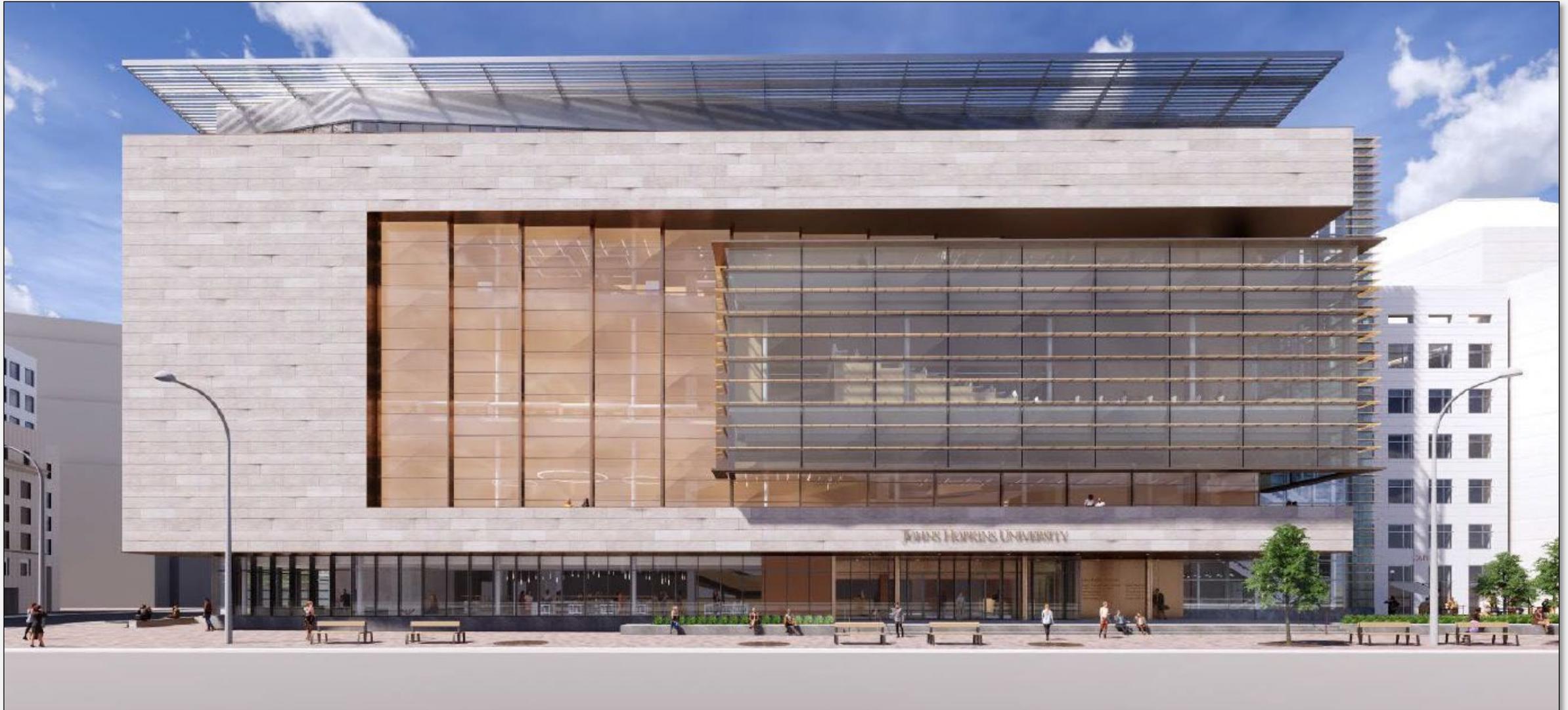


**Section** Looking East

# Building Facade



# Building Façade – December 2019



# Building Façade – April 2020



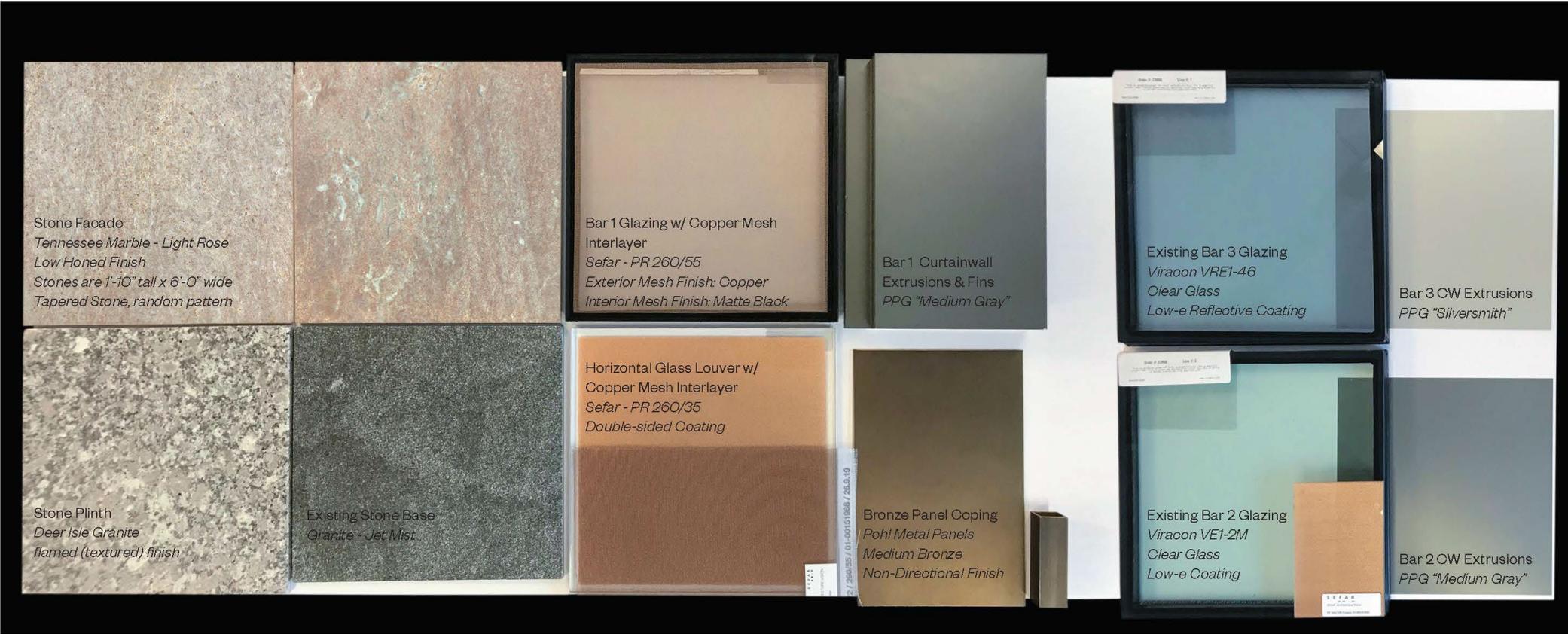
# Building Façade Relationships



# Building Façade – Materials Palette (December 2019)



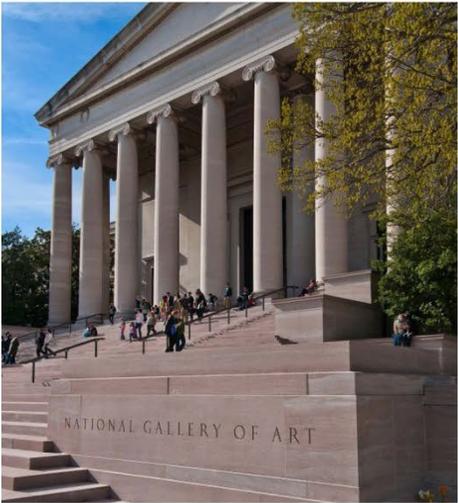
# Building Façade – Materials Palette (March 2020)



**Project Narrative:**

To reflect the building’s transition in ownership and program, the facades have been fully reimagined. In place of the cooler colors of the current façade will be a warm material palette that better harmonizes with the Pennsylvania Avenue context while also referencing the Homewood campus of Johns Hopkins. This harmony will be achieved through the use of four simple materials – stone, copper mesh, glass, and dark metal trim. The stone will situate the building within the context of the Avenue. The copper mesh, encased in a layer of glass, will complement the color of the stone while offering a subtle reference to JHU’s red brick campus. The dark metal trim will add to the richness of the façades, accentuating their depth and harkening more to the historic use of bronze than the more modern use of bright aluminum now commonly seen in newer buildings in the District.

# Building Façade – Materials Palette (March 2020)



National Gallery of Art West Building

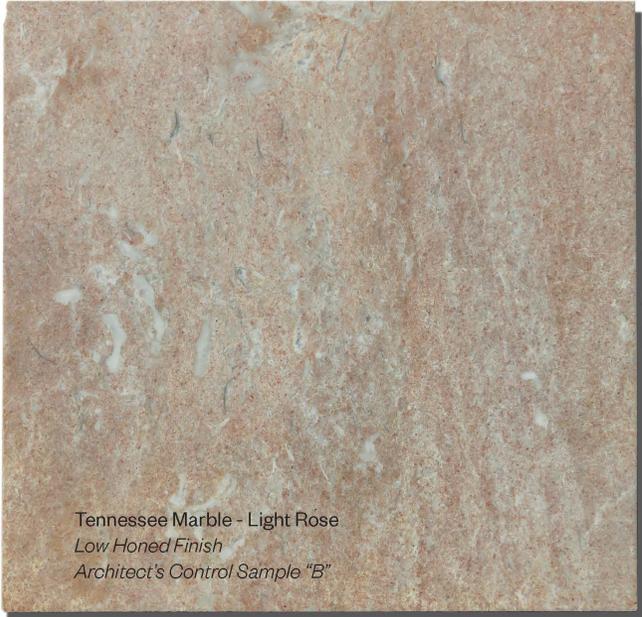


National Gallery of Art East Building



## Context Building - Tennessee Marble

# Building Façade – Materials Palette (March 2020)



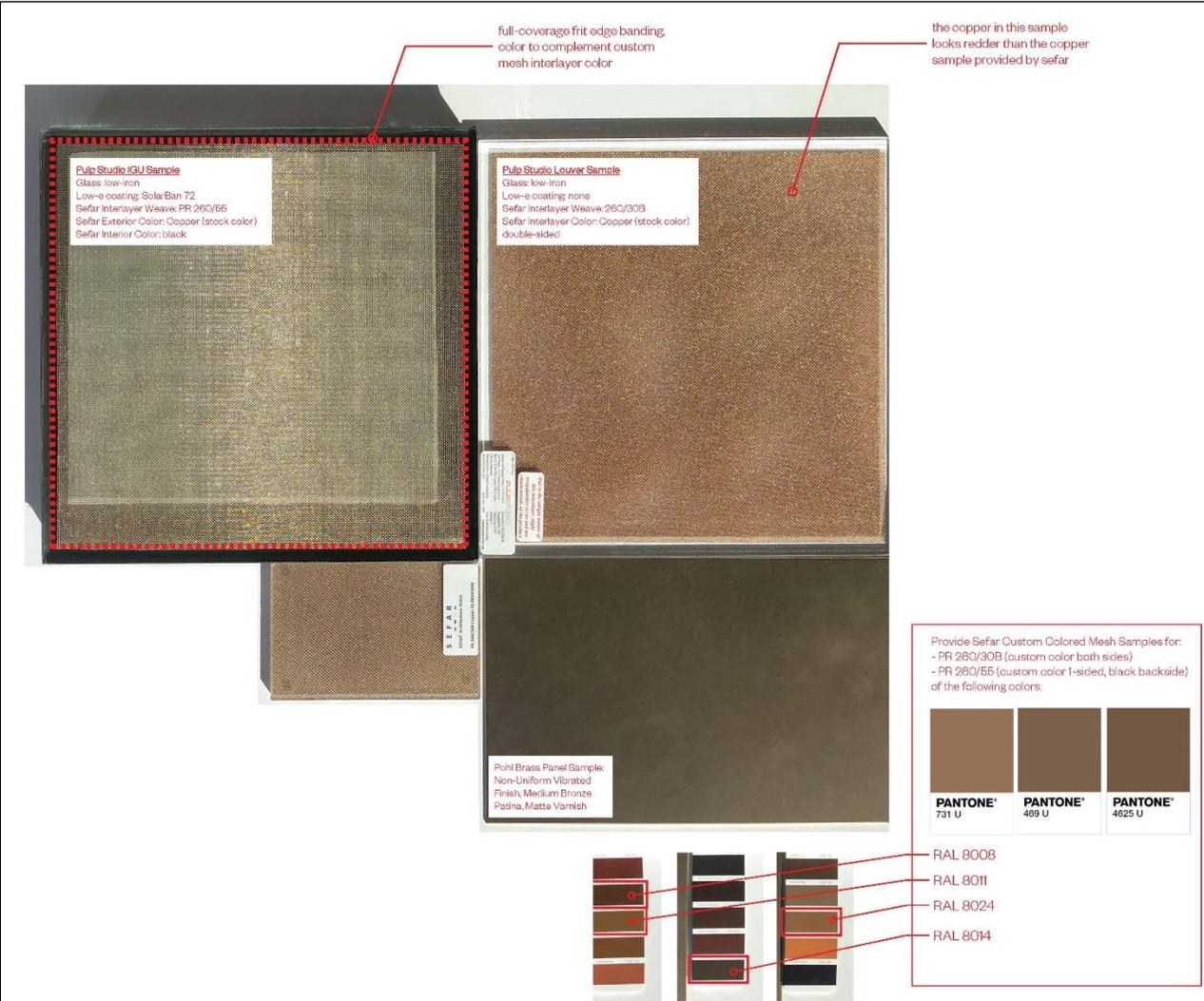
### Stone

The stone facades of the National Gallery of Art to the south are a primary reference point for the JHU project. The Tennessee Pink Marble facades of both NGA buildings exemplifies some of the finest stone in the District. Both buildings used several quarries and different suppliers to create blends, including both Asbury Pink and Grannox Gray. None of these quarries are still in use. The design team is proposing to use Light Rose from the Tennessee Marble Company, which is similar in color and variation to the stone used on NGA buildings while also having a character of its own. The design team has intentionally avoided matching the gray granite of the adjacent Canadian Embassy given its uniqueness along the Avenue and the symbolism it has as a material sourced from Canada.



## Stone: Tennessee Marble - Light Rose

# Building Façade – Materials Palette (March 2020)



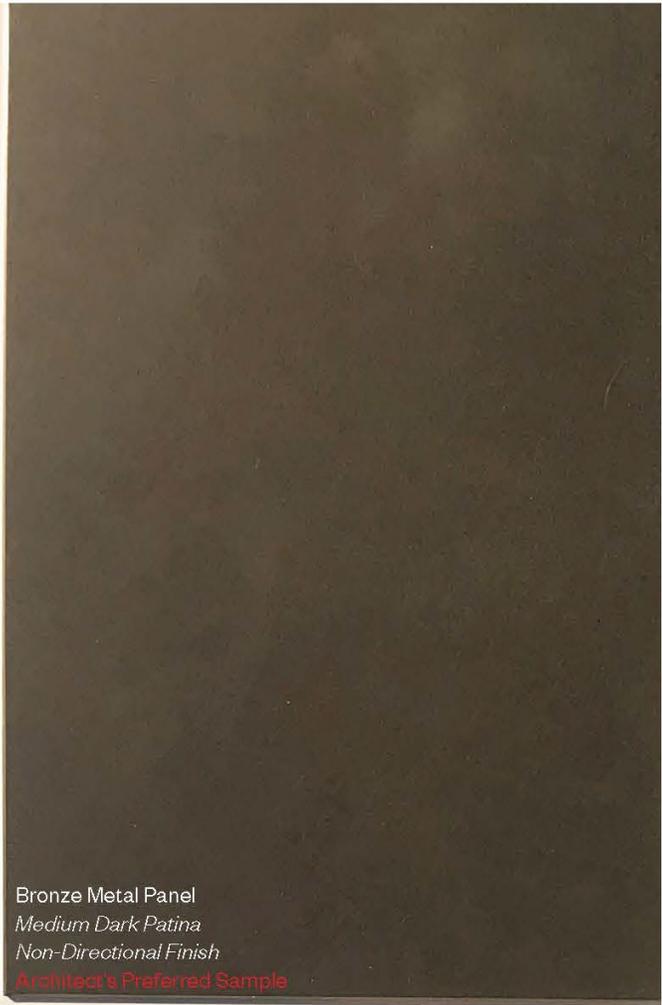
## Copper Mesh and Glass

The copper mesh, encased within a layer of glass, will add warmth to the façade while at the same time provide shade to the many south-facing interior spaces. Once the stone selection is finalized, the design team will choose a mesh color that ensures tonal harmony between the two materials, which will be fully vetted through material samples, renderings, and a full-scale visual mockup. The U.S. Commission of Fine Arts will also review the final materials during its permit review stage.



## Copper Mesh and Glass

# Building Façade – Materials Palette (March 2020)



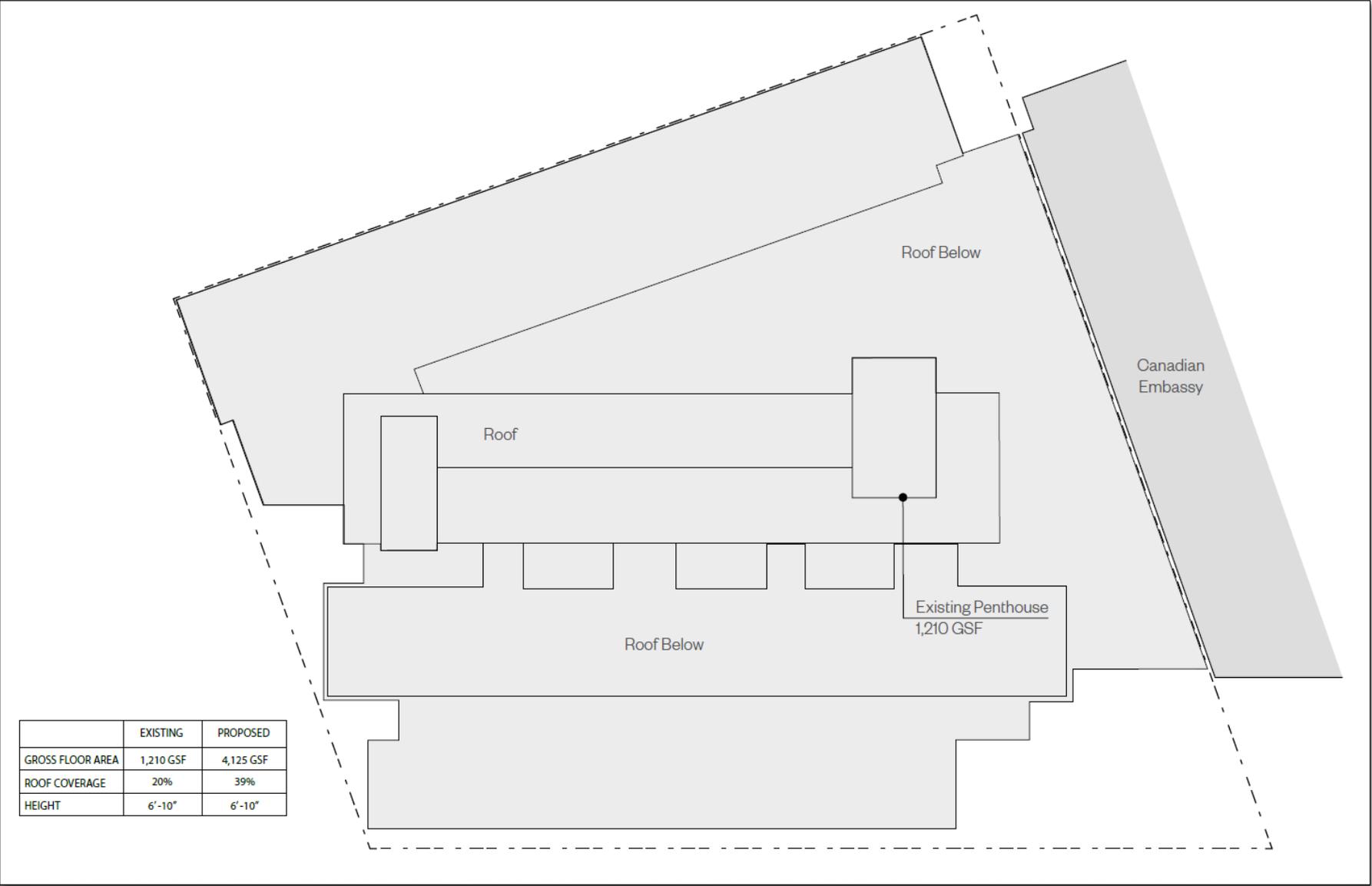
### Dark Metal Panel, Coping & Trim

As with the copper mesh, the specific finish and/or paint color of the metal trim will be determined once the stone selection is finalized, and will be customized to fully complement the other materials.

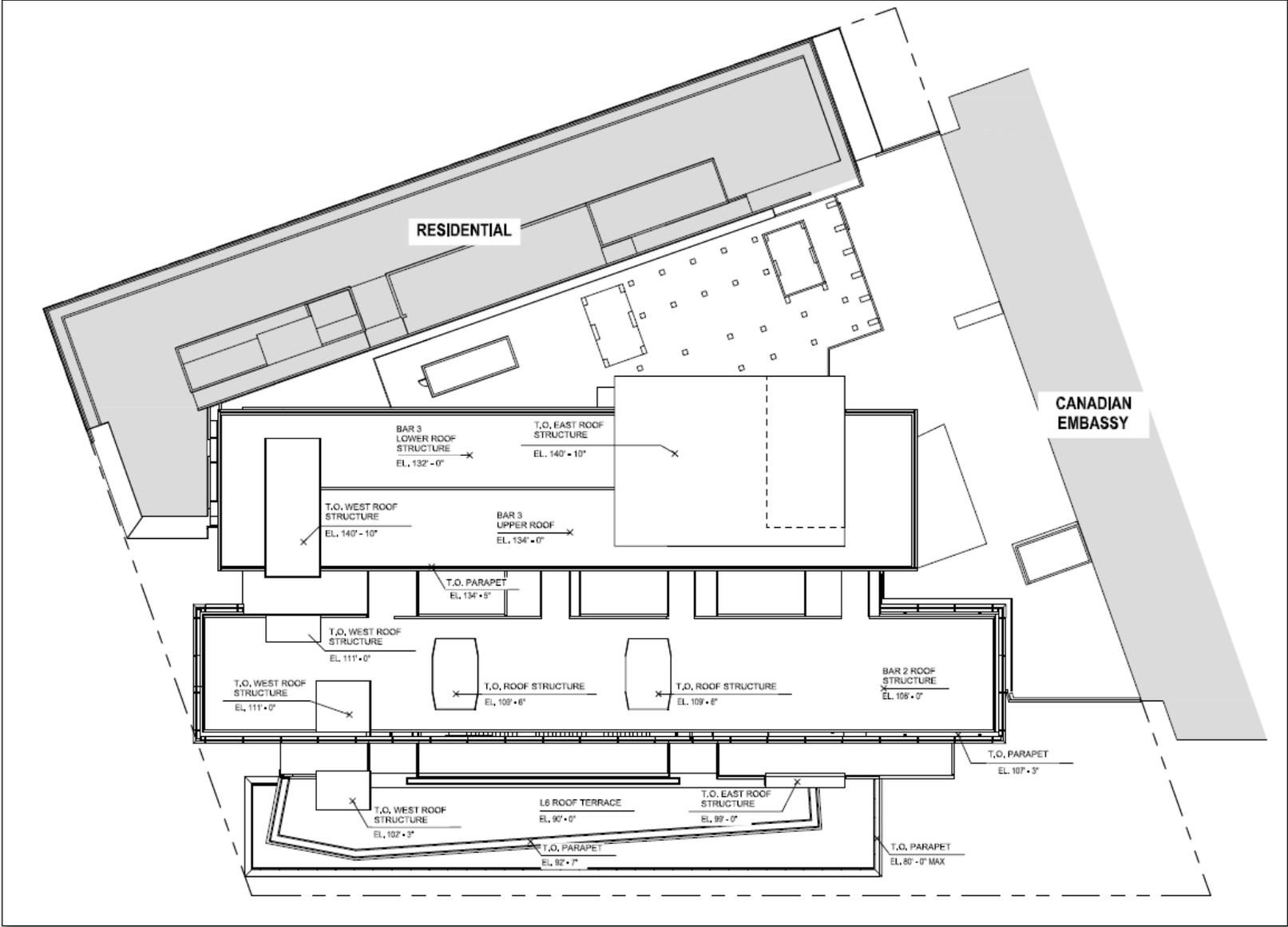


## Dark Metal Trim

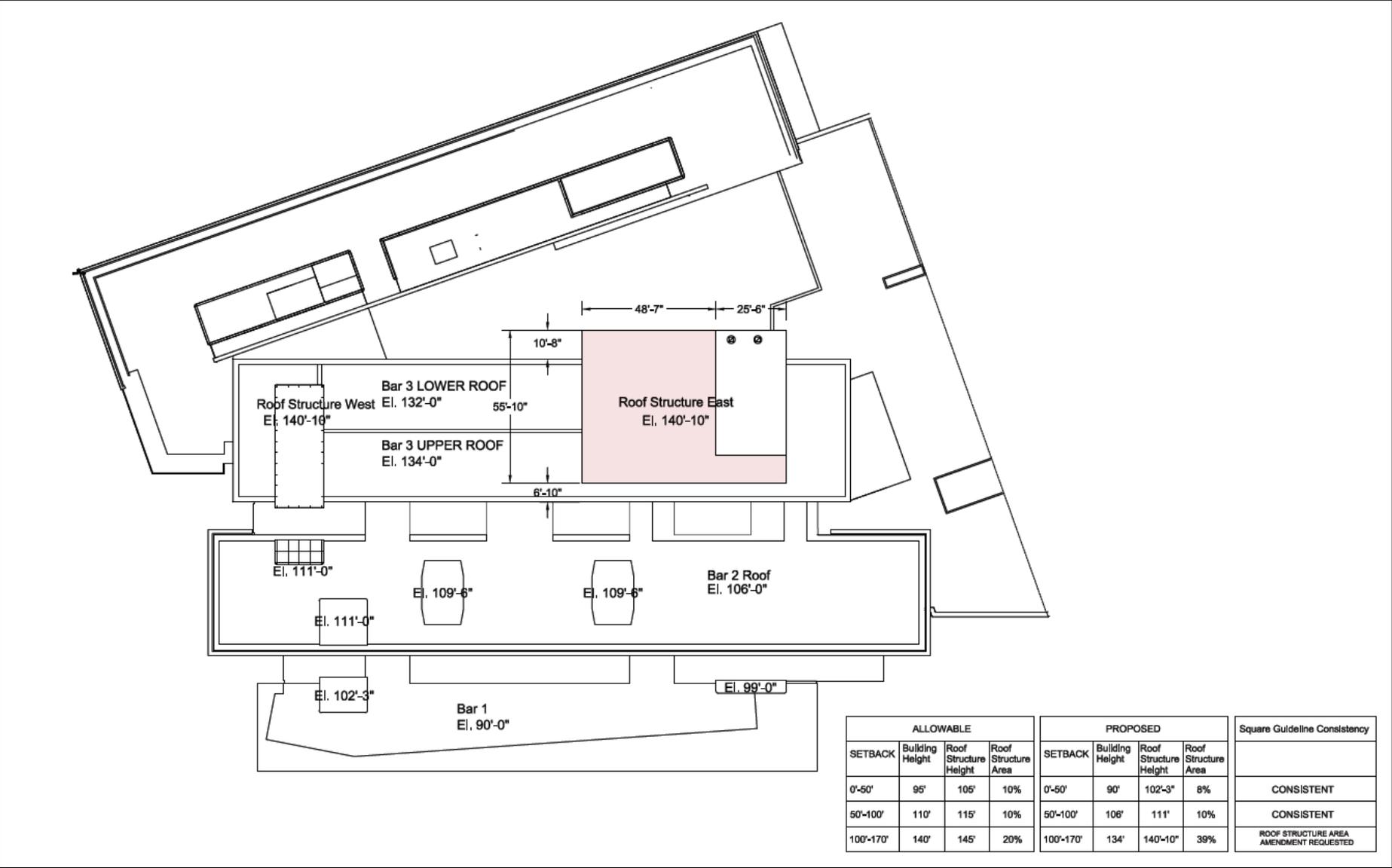
# Roof Structure - Existing



# Roof Structure - Proposed

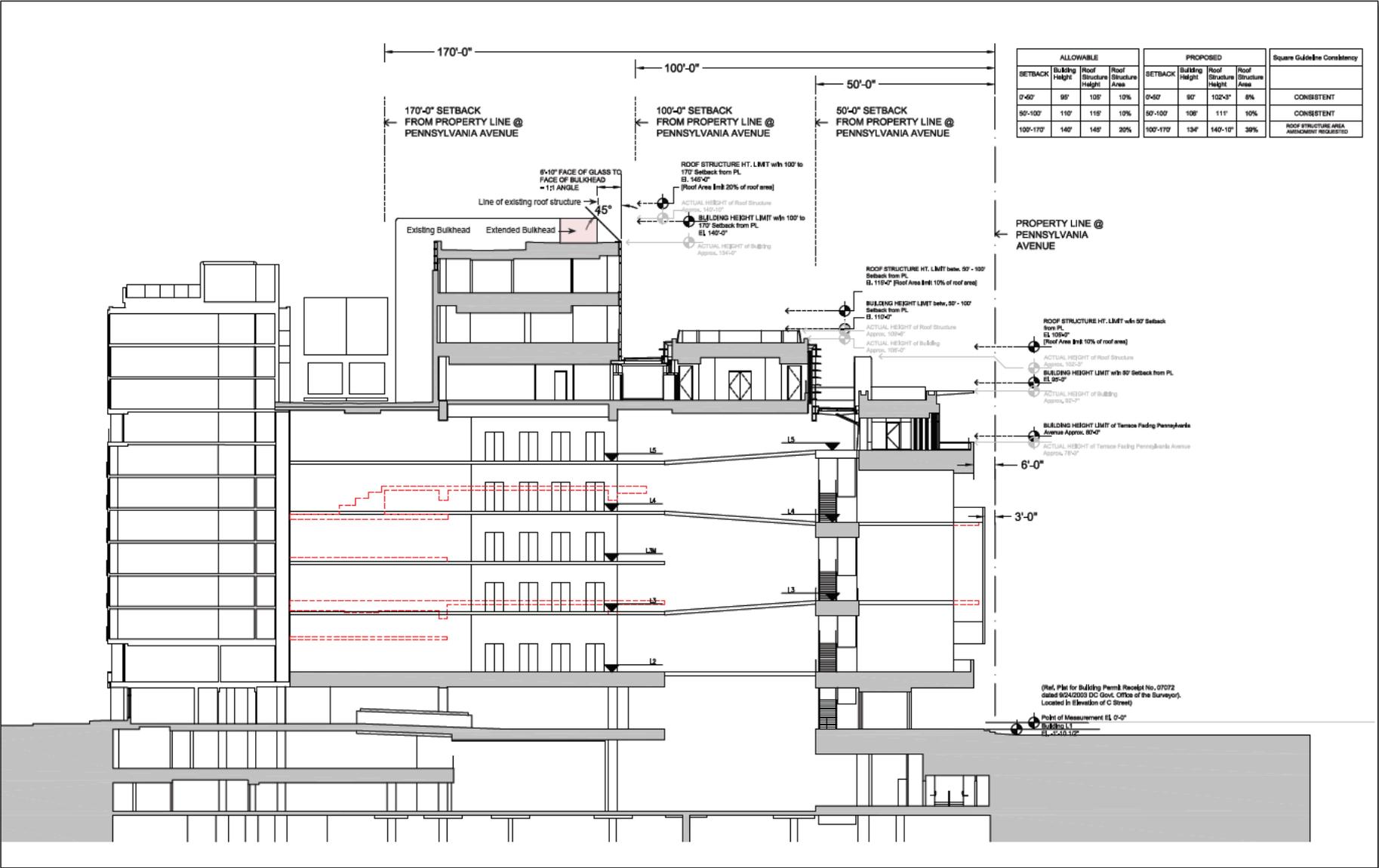


# Roof Structure - Proposed

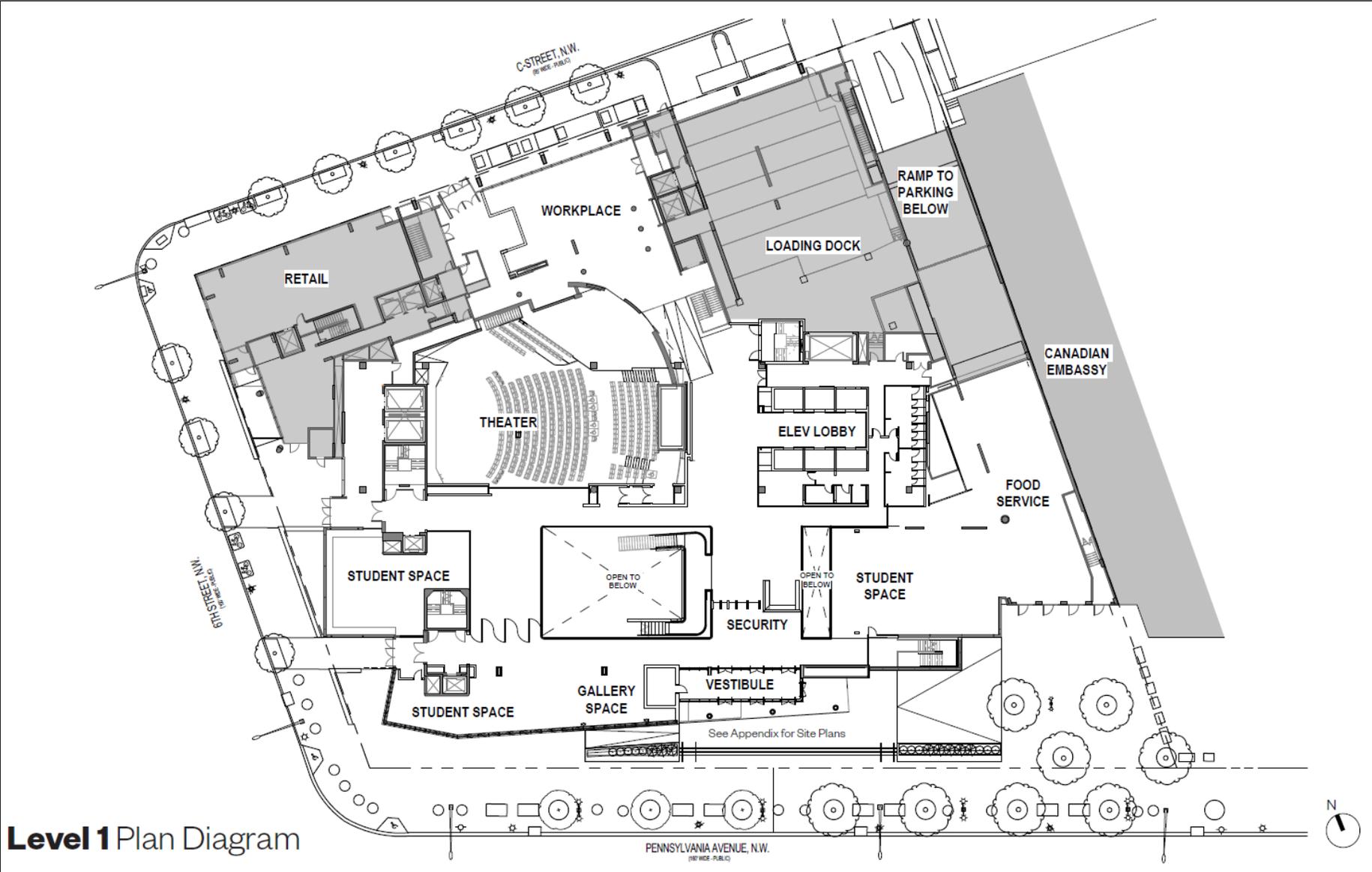


ALLOWABLE				PROPOSED				Square Guideline Consistency
SETBACK	Building Height	Roof Structure Height	Roof Structure Area	SETBACK	Building Height	Roof Structure Height	Roof Structure Area	
0'-50'	95'	105'	10%	0'-50'	90'	102'-3"	8%	CONSISTENT
50'-100'	110'	115'	10%	50'-100'	106'	111'	10%	CONSISTENT
100'-170'	140'	145'	20%	100'-170'	134'	140'-10"	39%	ROOF STRUCTURE AREA AMENDMENT REQUESTED

# Roof Structure - Proposed

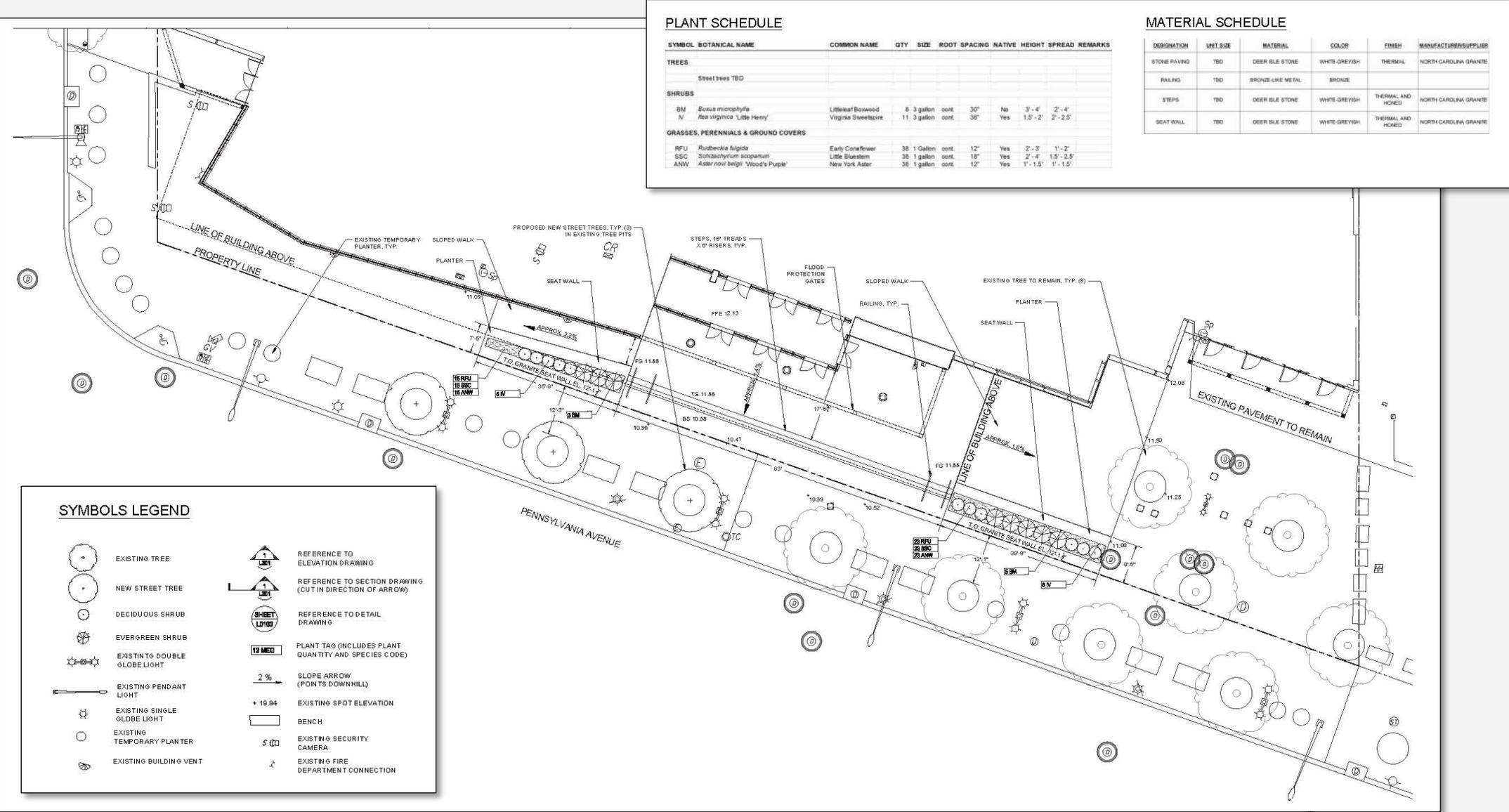


# Ground Floor Program

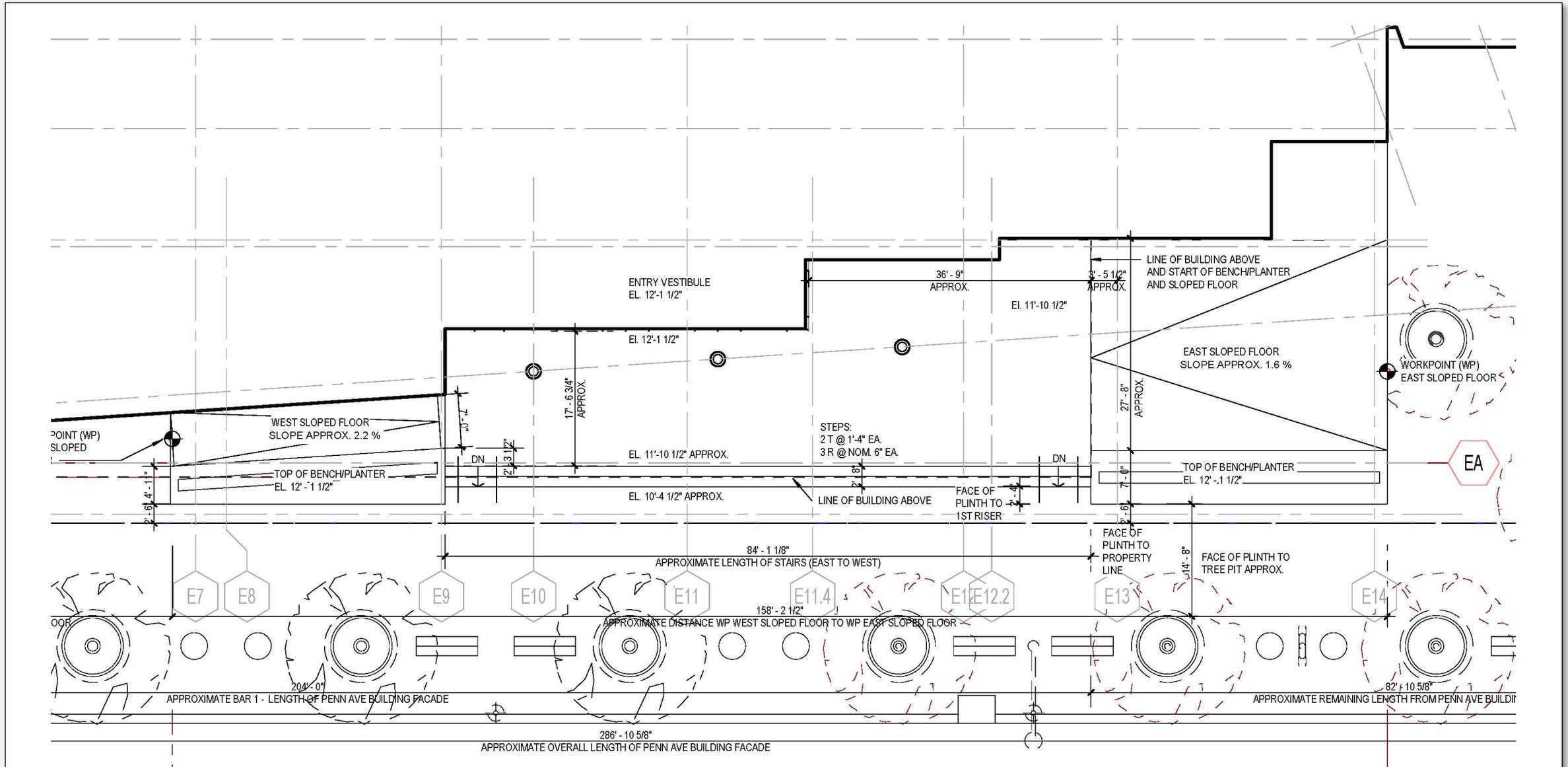


**Level 1** Plan Diagram

# Ground Floor Site Design



# Vestibule Dimensions



# Avenue Streetscape and Pedestrian Experience (looking east)



# Avenue Streetscape and Pedestrian Experience



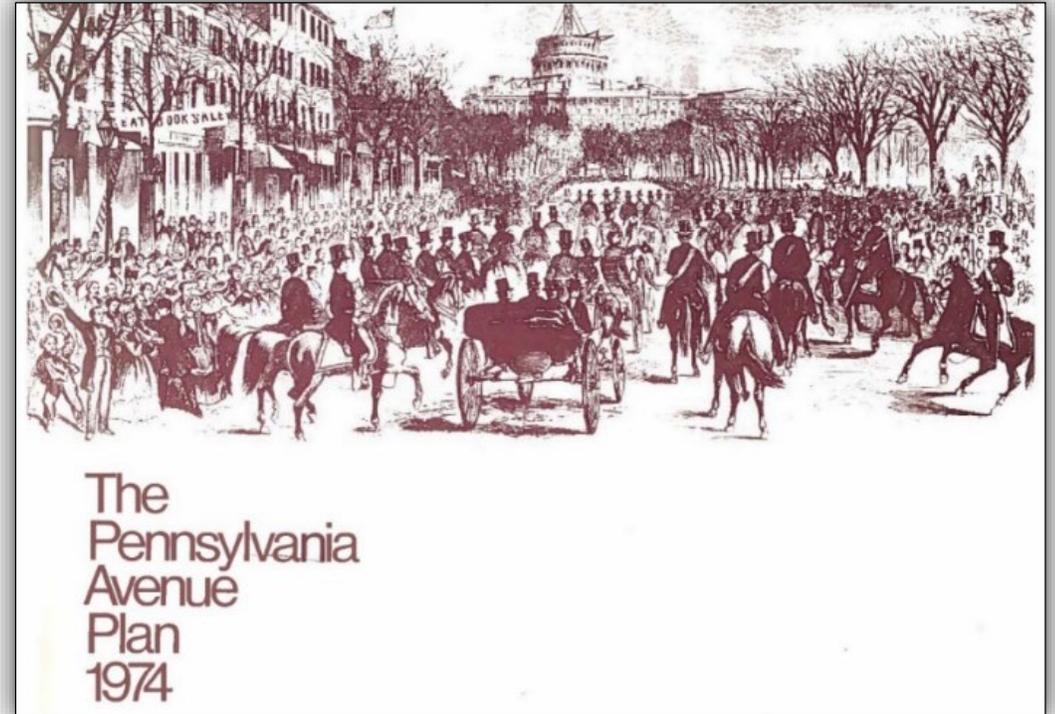
# Avenue Streetscape and Pedestrian Experience (looking west)



# PADC Square Guidelines Amendments

## Key Changes:

- Aligns with December 2019 Plan Amendments
- Shifts land use from museum to educational / institutional
- Increases interior space from 410,000 gsf to 465,000 gsf
- Increases allowable rooftop occupancy space from 20% to 40% to accommodate new elevator banks
- Removes language no longer applicable to the Newseum and neighborhood
- Markup attached



Pennsylvania Avenue Plan  
Square Guidelines  
Square 491

The text below reflects the ~~current language of~~ proposed amendments to Section C of the Pennsylvania Avenue Plan – Square Guidelines for Square 491, ~~as approved by the National Capital Planning Commission (“NCPC”) on January 2, 2003, pursuant to NCPC File No. 6306.491.~~

A. INTRODUCTION

Square 491 is bounded by John Marshall Park, Pennsylvania Avenue, C Street, and 6<sup>th</sup> Street. It is one of the squares on the eastern boundary of the Pennsylvania Quarter neighborhood, ~~which is becoming a new~~ a residential community in the heart of Washington’s downtown. ~~The establishment of this residential community is one of the important objectives of the Plan.~~ Square 491 has two parcels, A and B. Parcel A, the eastern half of the square is occupied by the Canadian Embassy, built in accordance with the PADC Square Guidelines. Parcel B ~~currently has a District of Columbia four-story office building slated for demolition~~ is occupied by a mixed-use development that contains museum, residential, and retail/service uses.

B. PLANNING AND URBAN DESIGN GUIDELINES

Square 491 occupies a critical location in the PADC area at the intersection of Pennsylvania Avenue and Constitution Avenue. It is also located adjacent to an important L’Enfant Plan vista along the axis of John Marshall Place, now known as John Marshall Park.

Along the axis of Pennsylvania Avenue, Square 491 is the first block along the processional route from the Capitol to the White House to establish the diagonal building line on the north side of the Avenue. Therefore, new development on the square must maintain the continuity of the Avenue façade and be compatible in scale with the buildings on Pennsylvania Avenue.

Because of the large open area at the intersection of Pennsylvania and Constitution Avenues, new development on Square 491 will also be highly visible from Constitution Avenue. The design of new development on Square 491 should recognize the importance of the vistas along both Constitution and Pennsylvania Avenues.

~~The new development~~ Development on Square 491 must be designed so that it provides a gradual transition in scale and character from monumental buildings and spaces of the Mall and the John Marshall Park axis to the smaller-scaled residential and commercial areas of the Historic Preservation Zone, beginning immediately to the west on Squares 459 and 460, in the Pennsylvania Quarter neighborhood. Development on Square 491 should include active uses that are adjacent to the sidewalk setback area in order to encourage pedestrian movement between the National Gallery and the retail and arts uses in

Pennsylvania Quarter neighborhood. Retail uses should provide services to residents, tourists, students, and office workers alike, and should also be planned with consideration given to the proximity of Square 491 to the National Gallery ~~and the emerging arts community along 7<sup>th</sup> Street~~ of Art.

~~The new building~~ Development on Parcel B should respect and respond to the adjacent Canadian Embassy, especially to the plane of the Embassy's Pennsylvania Avenue façade and its horizontal building lines.

## C. SPECIFIC URBAN DESIGN AND PLANNING GUIDELINES

### 1. Coordinated Planning Area

The coordinated planning area is comprised of Square 491 and adjacent sidewalk areas.

### 2. Development Parcels

Square 491 shall be developed as no more than two development parcels as follows:

- Parcel A – That portion of the Square 491 east of a north-south line established 289 feet east of the 6th Street right-of-way line, but not including the Pennsylvania Avenue and John Marshall Park setbacks. (Land owned by the Canadian Government, as shown in Diagram 1.)
- Parcel B – The remainder of Square 491 west of Parcel A

### 3. Comprehensive Planning and Design

Development on Square 491 shall be coordinated with the Corporation's overall treatment of John Marshall Park and Pennsylvania Avenue, and shall take into account existing buildings as well as developments anticipated by The Plan on the surrounding squares.

### 4. Uses

Square 491 shall be primarily devoted to office ~~use~~; including chanceries and international agencies, ~~with~~ institutional, including educational; residential; and ground floor retail, ~~museum~~ and ~~residential~~ service uses.

Parcel B shall contain approximately ~~410,000~~ 465,000 gross square feet above grade. The ground floor shall be primarily devoted to ~~museum and retail uses that will encourage lively activities at the street level~~ retail; service; and institutional uses, including exhibit, function, and amenity/service space. Uses that generate a low level of activity or engage in business for a limited period of time during the

day are discouraged along Pennsylvania Avenue. ~~The museum and~~ Any publicly-accessible retail ~~space and service use~~ on the ground ~~level~~ floor fronting ~~on~~ Pennsylvania Avenue shall be directly accessible from the Avenue.

Off-street, below-grade parking, adequate to serve all uses is required to service the entire square. In determining the amount of parking provided, developers shall consider the following factors:

a. Applicable vehicle parking requirements contained within D.C. Zoning Regulations.

~~b. a. The Corporation's Environmental Impact Assessment recommends several mitigating measures to ensure an adequate parking supply. The Corporation will review each development project to determine the potential to provide additional levels of off-street parking. Developers are encouraged to institute measures~~ Measures to ensure maximum utilization of parking facilities, including joint use arrangement and special rates for car pools and van pools.

~~c. b.~~ The parking policy described in the Plan and the General Guidelines establishes the maximum amount of parking allowed in the area as a whole. The policy is designed to maintain acceptable air quality, to encourage use of Metrorail, and to support the economic viability of development projects.

~~e. Limitations on on-street parking in the downtown area will make it more difficult than in residential areas for residents to find on-street parking.~~

d. The area is well served by Metrorail, with ~~the~~ stations located at Archives/Navy Memorial ~~and~~ Gallery Place/Chinatown, and Judiciary Square. Vehicular access is not permitted from 6th Street and Pennsylvania Avenue. A single access for off-street parking is permitted for each development.

## 5. Building Restriction Line and Sidewalk Setback

Building restriction lines are established as follows:

- Along the Pennsylvania Avenue and C Street frontages, the building restriction line shall be the property line.
- In accordance with the Building Code, architectural articulations, minor architectural embellishments, and canopies at ground level may project into the air space beyond the building restriction lines.

6. Build-to line

Build-to lines are established at the following locations:

- Along Pennsylvania Avenue, with the design of the street wall taking into account the need to transition from the setback along the Canadian Embassy to the street wall established by 601 Pennsylvania Avenue to the west.
- Along the entire length of C Street, provided that an arcade of approximately seven feet may be provided on the first floor.
- Along the entire length of the east property line of Parcel B, next to the Canadian Embassy from the ground level to the 80-foot height level. Above 80 feet, new construction must be setback a minimum of 25 feet to articulate the strong horizontal line created by the Canadian Embassy at this height. Above 80 feet, the C Street residential wing shall be set back a minimum of 15 feet next to the Canadian Embassy.

The treatment of the building and site at the ground level will firmly delineate the 6th Street building line through streetscape features along the building line and in the open courts created by the entrances. The treatment of the building line at grade and the architectural character of the entrances and open courts shall be lively and encourage pedestrian activity, and be well integrated with the design of the building.

Establishment of a build-to line does not imply a corresponding required height of development, except where a build-to height is specified. Variations in the street façade above the ground level to articulate the scale of development, to establish a rhythm along the façade, or to allow for rooftop amenities, are encouraged as long as the sense of a continuous spatial enclosure is maintained.

7. Height of Development

For Parcel A, the maximum height of development shall be the upper cornice line of the U.S. District Courthouse, which is approximately 90 feet.

For Parcel B, the building may include a terrace facing Pennsylvania Avenue at a height of approximately 80 feet. The building, including shade structures or trellises with open sides above the terrace, shall not exceed 95 feet in height for a depth of 50 feet from the Pennsylvania Avenue property line, except for roof structures which shall not exceed 105 feet. The roof structures on this roof shall not occupy more than ten percent of the roof area. The building shall not exceed 110 feet in height for a depth of between 50 feet and 100 feet from the Pennsylvania Avenue property line, except for roof structures which shall not exceed 115 feet. The roof structures on this roof shall not occupy more than ten percent of the roof

area. The building shall not exceed a height of 140 feet for a depth of between 100 feet and 170 feet, except for roof structures which shall be permitted to extend 5 feet above the maximum height of the building. The roof structures on the highest roof shall not occupy more than ~~twenty~~40 percent of the roof area. The portion of the building that extends for a depth of more than 170 feet from the Pennsylvania Avenue property line shall not exceed 127 feet, except for roof structures which shall not exceed 137 feet. New development exceeding the 80-foot height of the Canadian Embassy must be designed with great sensitivity.

8. Build-to Height

For Parcel A, along the entire length of the Pennsylvania Avenue and John Marshall Park build-to lines, development is subject to a build-to height equal to the lower cornice line of the U.S. District Courthouse, which is approximately 65 feet.

Parcel B is subject to a build-to height along the Pennsylvania Avenue property line of approximately 80 feet that is consistent with the lower cornice line of the Canadian Embassy, which is approximately 80 feet high.

9. Roof Structures

Wherever possible, roof structures should be located so that they are not visible from the street. All roof structures should be attractively designed as integral parts of the overall building composition. The designer should treat roof structures as positive elements in terms of the building massing and architectural expression, rather than attempting to meet only the minimum requirements specified in the D.C. Zoning Regulations. Roof structures should maintain the same quality of materials, design interest, and architectural detail as other parts of the building façade.

All permanent roof structures shall be set back a distance equal to their respective heights from the edges of the roofs that front on all streets.

Roof structures shall comply with the District of Columbia Zoning Regulations.

10. Pedestrian Features

Weather protection is to be considered along Pennsylvania Avenue and the side streets.

11. Subsurface Restrictions

Vaults are permitted under public rights-of-way. Vault locations and configurations shall be consistent with the Corporation's Public Improvements Program, Side Street Program, and other applicable plans and programs.

Vaults may extend up to 12 feet from the lot line, but not within 20 feet of the Pennsylvania Avenue curb or 10 feet of the other curbs. Vaults between the Pennsylvania Avenue building restriction line and the Pennsylvania Avenue curb must be at least seven feet below the sidewalk.

Electrical transformer vaults are prohibited within the Pennsylvania Avenue sidewalk, sidewalk setback, and John Marshall Park setback areas. Where possible, all connections to water, gas, electric, telephone, and sewer lines shall be from C Street or 6th Street.

12. Curb Cuts

Curb cuts are permitted only on C Street. The number of curb cuts shall be limited to the minimum as prescribed in the District of Columbia Zoning Regulations.

13. Off-street loading

Each development is permitted a single access for off-street loading. Any loading berth that abuts any sidewalk shall be designed so as to minimize adverse visual impacts on the street. The hours when the bay doors of the loading dock will be open shall be limited. Trucks may not park on the sidewalk but must pull directly into the loading berths inside the bays.

14. Special Design Requirements

As stated under the Planning and Urban Design Objectives above, the development on Parcel B will play a very important role in defining space at the confluence of Pennsylvania Avenue and Constitution Avenue.

The architect of any development team is expected to work closely with the staff of the Corporation during the design phase of the project. Although all elements of the design for the building exterior and the interior public spaces will be subject to the Corporation's review, the following elements are considered especially important:

- The building footprint and massing;

- The facades along Pennsylvania Avenue and John Marshall Park, particularly with regard to cornices, edges, entrances, and other features of the street level frontages;
- The building configuration at the corner of Pennsylvania Avenue and 6th Street, which will provide a visual anchor and architectural transition from the Canadian Embassy to the building at 601 Pennsylvania Avenue;
- The facades along 6th and C Streets;
- The treatment of any exposed walls along the lot line separating Parcel A and B;
- The transition from the lower height on Parcel A to any proposed higher heights on Parcel B;
- The portion of any proposed development above 80 feet;
- The pedestrian environment created at the ground level by the arrangement of uses and the physical setting along John Marshall Park and all streets, particularly Pennsylvania Avenue;
- The relationship to and coordination with public improvements along Pennsylvania Avenue and John Marshall Park;
- The retail plan;
- The coordination of office, retail, and service uses;
- Awnings, canopies, or other means of weather protections;
- Any interior court or atrium provided;
- Structures and planting incidental to rooftop use;
- Location of rooftop mechanical equipment areas; and
- Access to off-street parking and loading.

**Section I – Project Information**

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**Section II – Site Information**

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\* Critical Action Letter required within the 500-yr floodplain. "Critical Action" is any activity for which even a slight chance of flooding would be too great a risk.

**Section III – Action Description**

*(e.g., new lease for 5 years with an option for a 5-year succeeding lease, and relate to the category selected below)*

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**Section IV – Types of Action**

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*Please select the categories that best apply to the action described in Section III.*

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**Section V – Approval**

<b>Project Representative (Print Name)</b>		<b>Environmental Protection (Print Name)</b>	
Uki pcwtg"	F cyg"	Uki pcwtg"	F cyg"
"		"	
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GOVERNMENT OF THE DISTRICT OF COLUMBIA  
STATE HISTORIC PRESERVATION OFFICER



November 7, 2019

Ms. Nancy Witherell  
Regional Historic Preservation Officer  
U.S. General Services Administration  
301 7<sup>th</sup> Street, NW, Room 4004  
Washington, DC 20407

RE: Section 106 Review: Johns Hopkins Rehabilitation of Former Newseum Building at 555 Pennsylvania Avenue, NW and Associated PADC Square Guideline Amendments (Parcel B; Square 491)

Dear Ms. Witherell:

Thank you for consulting with the District of Columbia State Historic Preservation Officer (SHPO) regarding the above-referenced undertaking. We have reviewed the submitted materials and are writing to provide comments regarding effects on historic properties in accordance with Section 106 of the National Historic Preservation Act and its implementing regulations, 36 CFR Part 800.

We understand that the U.S. General Services Administration (GSA) proposes amendments to Pennsylvania Avenue Development Corporation (PADC) Square Guidelines in order to allow Johns Hopkins University to rehabilitate the former Newseum Building at 555 Pennsylvania Avenue, NW.

As indicated in the project submission, the building itself is not historically significant but it is located within the Pennsylvania Avenue National Historic Site and along one of the most prominent view corridors identified in the Plan of the City of Washington (aka L'Enfant Plan) – namely Pennsylvania Avenue, NW.

With these facts in mind, we have considered the alterations that Johns Hopkins proposes, and which the amendments will allow, and we concur with GSA's determination that these actions will have "no adverse effect" on historic properties because the height of the existing building will not change; the proposed increase in square footage will result from infill of the existing atrium rather than any outward expansion; architectural refinements will be relatively limited and involve compatible materials; and because the obvious change from museum to educational use is unlikely to result in any direct or indirect effects that might diminish the integrity of the surrounding historic district.

If you should have any questions or comments regarding this matter, please contact me at [andrew.lewis@dc.gov](mailto:andrew.lewis@dc.gov) or 202-442-8841. Otherwise, thank you for providing this opportunity to review and comment.

Sincerely,

C. Andrew Lewis  
Senior Historic Preservation Officer  
DC State Historic Preservation Office

20-0057

# U.S. COMMISSION OF FINE ARTS

ESTABLISHED BY CONGRESS 17 MAY 1910

401 F STREET NW SUITE 312 WASHINGTON DC 20001-2728 202-504-2200 FAX 202-504-2195 WWW.CFA.GOV

27 September 2019

Dear Mr. Bonanno:

In its meeting of 19 September, the Commission of Fine Arts reviewed a concept design for the planned alterations and additions to the former Newseum building at 555 Pennsylvania Avenue, NW, for use by Johns Hopkins University (case number SL 19-240). The Commission approved the concept and provided the following recommendations for the development of the design.

The Commission members expressed support for the submitted design, particularly for the subdued stone frame surrounding highly articulated glazed openings on the Pennsylvania Avenue facade, which they characterized as handsome and compatible with the design of the adjacent Canadian Embassy. In their discussion of the facade development option presented in the meeting, they commented that this proposed treatment of the stone—a lively granite with a highly textured surface, strong horizontal reveals, varied coursing, and a random array of small window openings—presents a busy character that may detract from the clarity of the facade composition and compete with the multi-layered treatment of the glazed openings. Instead, they expressed a preference for the Tennessee Pink stone illustrated in the renderings, or for a similarly muted stone, and they recommended a more restrained treatment of the stone facade in general. They requested more information about the rationale for the proposed small windows as they relate to the building interior, as well as more accurate renderings of the proposed stone reveals. For the design of the site, they expressed support for the proposed treatment of the ground plane along Pennsylvania Avenue, with two generous ramps flanking the entrance.

The Commission looks forward to further review of the design for this important project on Pennsylvania Avenue. As always, the staff is available to assist you with the next submission.

Sincerely,



Thomas E. Luebke, FAIA  
Secretary

Mitchell Bonanno, Chief Real Estate Officer  
Johns Hopkins University  
3910 Keswick Road, N3100  
Baltimore, MD 21211

cc: Richard Olcott, Ennead Architects

# U.S. COMMISSION OF FINE ARTS

ESTABLISHED BY CONGRESS 17 MAY 1910

401 F STREET NW SUITE 312 WASHINGTON DC 20001-2728 202-504-2200 FAX 202-504-2195 WWW.CFA.GOV

27 November 2019

Dear Mr. Bonanno:

In its meeting of 21 November, the Commission of Fine Arts approved, based on its prior review of the submission materials, the revised concept design for the planned alterations and additions to the Newseum building, located at 555 Pennsylvania Avenue, NW, for use by Johns Hopkins University (case number SL 20-034). The Commission members expressed appreciation for the design team's responsiveness to their comments from the previous review.

The Commission looks forward to further review of this project. Please coordinate the next submission with the staff which, as always, is available to assist you.

Sincerely,

A handwritten signature in black ink, appearing to read 'T. Luebke', written in a cursive style.

Thomas E. Luebke, FAIA  
Secretary

Mitchell Bonanno, Chief Real Estate Officer  
Johns Hopkins University  
3910 Keswick Road, N3100  
Baltimore, MD 21211

cc: Richard Olcott, Ennead Architects



February 28, 2020

Mr. Marcel C. Acosta  
Executive Director  
National Capital Planning Commission  
401 9<sup>th</sup> Street, NW, Suite 500  
Washington, DC 20004

RE: Request for Review of the Proposed Amendments to the Square Guidelines for Square 491, 555 Pennsylvania Avenue, NW, in the Pennsylvania Avenue National Historic Site

Dear Mr. Acosta:

The U. S. General Services Administration (GSA) has received a preliminary and final submission from the Johns Hopkins University for the proposed redevelopment of the building owned by the Freedom Forum at 555 Pennsylvania Avenue, NW. The proposal would affect the portion of the building housing the Newseum and would not affect the residential units or the restaurant in the building.

GSA's role is defined in the Memorandum of Agreement (MOA), dated July 25, 1996, 61 fed. Reg. 41789, that followed the dissolution of the Pennsylvania Avenue Development Corporation (PADC). GSA's action is also subject to Section 106 of the National Historic Preservation Act, 54 U.S.C. § 306108, and its implementing regulations, 36 CFR §§ 800, et. seq. The Newseum, while not itself a historic building, is within the Pennsylvania Avenue National Historic Site (PANHS) and is a prominent, monumentally scaled building on the north side of Pennsylvania Avenue. GSA's action is subject to the National Environmental Policy Act (NEPA) as well.

GSA does support the project and its preliminary and final design and therefore is transmitting it and amended Square Guidelines text to NCPC with our endorsement. The proposed Square Guidelines text amendments for Square 491 update the description of current conditions in Parcel B, update the permitted use by an educational institution, and increase the permitted gross square footage to 465,000. In addition, the amendments allow an increase in the percentage of penthouse coverage from 20% to 40% to permit the addition of new elevators. While the percentage of coverage is increased, no additional building or penthouse height is proposed as part of the project and no amendments are requested by the university in that respect.

GSA has determined that the proposed amendments to the Square Guidelines for Parcel B in Square 491-- as they reflect and would permit the proposed architectural alteration of the current building for university use--do not adversely affect the character or significance of the Pennsylvania Avenue National Historic Site, nor of any individual historic buildings and their settings within or near the National Historic Site. Further, we have determined that the proposed amendments do not adversely affect Pennsylvania Avenue or any other element of the historic Plan of the City of Washington.

The use is consistent with institutional and retail uses on Pennsylvania Avenue, the increase in gross square footage respects the permitted building line on Pennsylvania Avenue, and the expansion of roof coverage of the penthouse on Bar 3 is within the current Square Guidelines' allowable height and complies with the Zoning Regulations' setback requirement.

GSA has also determined that the proposed amendments will not pose any significant environmental impacts as part of the NEPA review. The proposed amendments fall under Categorical Exclusion (CATEX) category p) "preparation of implementation guidance," as per GSA's NEPA Desk Guide.

In accordance with your submission requirements for concept review, an electronic copy of the submission documents will be sent under separate cover.

If you have any Section 106 questions, please contact Nancy Witherell at (202) 708-4732. If you have any NEPA questions, please contact Marc Poling at (202)-230-8140.

Sincerely,



Mina Wright  
Director, Office of Planning and Design Quality

Enclosures



# United States Department of the Interior

NATIONAL PARK SERVICE  
Interior Region 1- National Capital Area  
1100 Ohio Drive, S.W.  
Washington, D.C. 20242

IN REPLY REFER TO:

1.A.1 (NCA-LP)

March 13, 2020

Mina Wright  
Director, Office of Planning and Design Quality  
General Services Administration  
301 7<sup>th</sup> Street SW  
Washington, DC 20407

Re: Amendment to Section C of the Pennsylvania Avenue Plan, Square Guidelines for Square 491

Dear Ms. Wright:

The National Park Service (NPS) has reviewed the proposed amendment to Section C of the Pennsylvania Avenue Plan, Square Guidelines for Square 491 which is required for the redevelopment of 555 Pennsylvania Avenue NW by John Hopkins University, currently the location of the Newseum.

The NPS understands that the General Service Administration (GSA) proposes amendments to the Pennsylvania Avenue Plan square guidelines (square guidelines) to address (1) adding institutional (educational) use to those allowed in Square 491, (2) increasing the prescribed development potential for the building from 410,000 gross square feet to 465,000 gross square feet, (3) the current condition description for Square 491, and (4) increasing the occupancy of the roof area from 20 to 40 percent to accommodate for new elevators on Bar 3.

In evaluating these changes, the NPS concurs with the proposed square guidelines amendment and has determined that the proposed changes do not have the potential to affect adjacent NPS property. The NPS has already concurred with proposed amendment to the Pennsylvania Avenue Plan in November 2019.

We look forward to continued cooperation and collaboration. Please feel free to contact Tammy Stidham, Deputy Associate Area Director, Lands and Planning, at 202-619-7474 or via email at [tammy\\_stidham@nps.gov](mailto:tammy_stidham@nps.gov) if you have any questions.

Sincerely,

Peter May  
Associate Area Director  
Lands and Planning

INTERIOR REGION 1 • NORTH ATLANTIC-APPALACHIAN

CONNECTICUT, DELAWARE, DISTRICT OF COLUMBIA, KENTUCKY, MAINE, MARYLAND, MASSACHUSETTS,  
NEW HAMPSHIRE, NEW JERSEY, NEW YORK, PENNSYLVANIA, RHODE ISLAND, VERMONT,  
VIRGINIA, WEST VIRGINIA